



**BID NUMBER: LDPWRI-B/20362**

**APPOINTMENT OF CONTRACTOR FOR REFURBISHMENT OF  
LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES THROUGH THE  
FRAMEWORK CONTRACT CATEGORY B**

**for the**

**THE DEPARTMENT OF COOPERATIVE GOVERNANCE, HUMAN  
SETTLEMENTS AND TRADITIONAL AFFAIRS  
LIMPOPO PROVINCE**

**Issued by:**

Limpopo Department of Public Works, Roads and Infrastructure  
Works Towers Building  
43 Church Street  
Polokwane  
0700

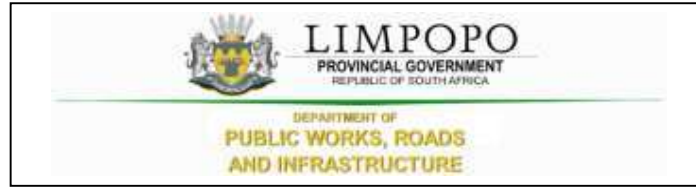
**Contact Person: General Queries**

Name : Mr NJ Motsopye,  
Tel No. : 015 284 7126  
Email : [motsopyen@dpw.limpopo.gov.za](mailto:motsopyen@dpw.limpopo.gov.za)

**Technical: Technical Queries**

Name : Mr. Maluleke ZV  
Tel No. : 015 284 7219  
Email : [MalulekeZV@dpw.limpopo.gov.za](mailto:MalulekeZV@dpw.limpopo.gov.za)

**Name of the Bidder : .....**



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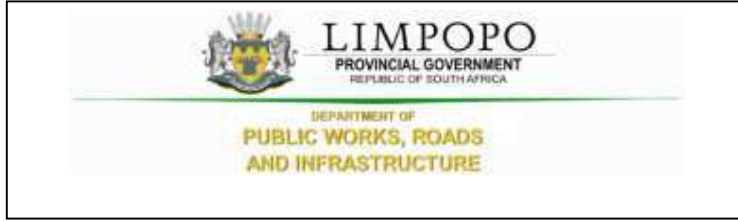
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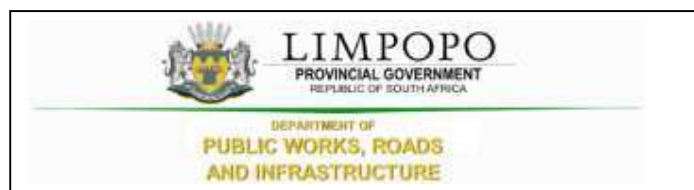
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Bidder's initials



## PART T1: TENDERING PROCEDURE

Bidder's initials



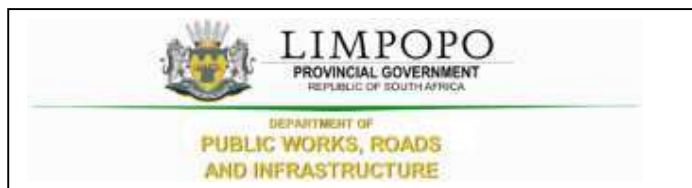
## T1.1 Tender Notice and Invitation to Tender

The Limpopo Department of Public Works, Roads and Infrastructure invites tenderers from contractors appointed on the framework agreement on category B for **REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE** for a period of 6 months. It is estimated that tenderers must have a CIDB contractor grading designation of **6 GB** or higher.

The conditions of the CIDB Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts **Gazette Notice No. 36190 of 25 February 2013** will be applicable on this project

<b>Project Name</b>	REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE for a period of 6 months.	
<b>Tender Number</b>	LDPWRI-B/20362	
<b>Tender documents availability</b>	Limpopo Department of Public Works, Roads and Infrastructure website	
<b>Address for submission of tenders</b>	DEPARTMENT OF PUBLIC WORKS, ROADS & INFRASTRUCTURE. Physical address: Corner River and Blaauwberg Streets, Ladanna, 0699.	
<b>Closing date of the tender</b>	<b>As per Tender invite</b>	
<b>Closing time of the tender</b>	<b>As per Tender invite</b>	
<b>Compulsory briefing meeting</b> ( <i>Tenderers must sign the attendance register in the name of the tendering entity. Addenda (if any) will be issued only to those tendering entities appearing on the attendance register</i> )	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
	Meeting venue	<b>As per Tender invite</b>
	Date	<b>As per Tender invite</b>
	Time:	<b>As per Tender invite</b>
<b>Evaluation criteria</b>	<ol style="list-style-type: none"> <li>1. Compliance with mandatory or compulsory requirements</li> <li>2. Risk assessment on current projects</li> <li>3. Price</li> <li>4. Preference</li> </ol>	
<b>Mandatory or Compulsory Requirements</b> ( <i>failure to submit or comply with these requirements will lead to automatic disqualification</i> )	Only tenderers who are appointed on category B registered with the Construction Industry Development Board (CIDB) with designation of <b>6GB</b> or higher than a contractor grading designation determined in accordance with the sum tendered, or a value determined in accordance with Regulation 25 (1B) or 25(7A) of the Construction Industry Development Regulations are eligible to have their tenders evaluated Completed and signed Form of Offer	

Bidder's initials



## T1.2 Tender Data

Clause number	Tender Data
	<p>The conditions of tender are the Standard Conditions of Tender as contained in Annex C of Board Notice 423 of 2019 in Government Gazette No. 42622 of 08 August 2019, Construction Industry Development Board (CIDB) Standard for Uniformity in Construction Procurement. (See <a href="http://www.cidb.org.za">www.cidb.org.za</a>) which are reproduced without amendment or alteration for the convenience of tenderers as an Annex to this Tender Data.</p> <p>The Standard Conditions of Tender make several references to the Tender Data for details that apply specifically to this tender. The Tender Data shall have precedence in the interpretation of any ambiguity or inconsistency between it and the standard conditions of tender. Each item of data given below is cross-referenced to the clause in the Standard Conditions of Tender to which it mainly applies.</p> <p>The contractor shall achieve in the performance of the contract the Contract Participation Goals (CPG) relating to the engagement of targeted enterprises as established in the CIDB Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts Gazette Notice <b>No. 36190 of 25 February 2013</b>. In this case, contractor shall provide a <b>minimum Contract Participation Goal (CPG) of 5%</b> of the total project value and develop targeted enterprises stated under C3 of this document.</p> <p>The following variations, amendments and additions to the Standard Conditions of Tender as set out in the Tender Data below shall apply to this tender. Add the following to clauses in Standard Conditions of Tender:</p>
C.1.1	The Employer is the Department of Public Works, Roads and Infrastructure
C.1.2	<p><b>The Tender</b>  <b>Part T1: Tendering procedures</b>                      T1.1 Tender notice and invitation to tender                      T1.2 Tender data</p> <p><b>Part T2: Returnable documents</b>                      T2.1 List of returnable documents                      T2.2 Returnable schedules</p> <p><b>The Contract Part C1: Agreements and contract data</b>                      C1.1 Form of offer and acceptance                      C1.2 Contract data                      C1.3 Joint Venture Agreement (If Applicable)</p> <p><b>The Contract Part C2: Pricing data</b>                      C2.1 Pricing instructions                      C2.2 Bills of Quantities</p> <p><b>Part 3: Scope of work</b>                      C3.1 Special Notes to Bidders                      C3.2 OHS Specifications</p> <p><b>Part 4: Site information</b>                      C4 Drawings</p>

Bidder's initials

REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES FOR THE LIMPOPO DEPARTMENT OF COOPERATIVE GOVERNANCE, HUMAN SETTLEMENTS AND TRADITIONAL AFFAIRS  
CONTRACT No. LDPWRI-B/20362

C.1.4	<p>The employer's representative is :</p> <p>Name : Tel No. : Email :</p> <p>However, all communications related to this bid should be directed to the persons indicated under Enquires on this tender document.</p> <p>Attention is also drawn to the fact that verbal information, given by the Employer's agent during site visits/clarification meetings or at any other time prior to the award of the Contract, will not be regarded as binding on the Employer. Only information issued formally by the Employer in writing to Tenderers will be regarded as amending the Tender Documents</p>
C.1.5	The employer reserve to cancel the tender prior to the award of the tender.
C1.6.2	A competitive negotiation procedure will not be followed.
C1.6.3	A two-stage system will not be followed.
C.2.1	<p><b>Eligibility in respect of CIDB grading</b></p> <p>Only tenderers who are appointed on framework agreement category A and registered with the Construction Industry Development Board (CIDB) with designation of 6 GB or higher than a contractor grading designation determined in accordance with the sum tendered, or a value determined in accordance with Regulation 25 (1B) or 25(7A) of the Construction Industry Development Regulations, are eligible to have their tenders evaluated</p>
C2.2	<p><b>Cost of tendering</b></p> <p>The tenderer accept that, unless otherwise stated in the tender data, the employer will not compensate the tenderer for any costs incurred in the preparation and submission of a tender offer, including the costs of any testing necessary to demonstrate that aspects of the offer complies with requirements</p>
C.2.7	<p><b>Compulsory site briefing</b></p> <p>A compulsory briefing meeting will be held <b>as per Tender invite</b></p> <p>Tenderers must sign the attendance list in the name of the tendering entity. Addenda (if any) will be issued only to those tendering entities appearing on the attendance list</p>
C.2.11	<p><b>Alterations to the documents</b></p> <p>Bidders are required to not make any alterations or additions to the tender documents, except to comply with instructions issued by the employer, or necessary to correct errors made by the tenderer. All signatories to the tender offer shall initial all such alterations</p>
C.2.12	<p><b>Alternative tender offer</b></p> <p>No alternative tender offer is permitted in this tender.</p>
C.2.13.2	<p><b>Replace sub-clause C.2.13.2 with the following;</b> Return all returnable documents to the employer after completing them in their entirety by writing in <b>non-erasable black ink</b></p>
C.2.13.3	Parts of each tender offer communicated on paper shall be submitted as an original

Bidder's initials

REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES FOR THE LIMPOPO DEPARTMENT OF  
 COOPERATIVE GOVERNANCE, HUMAN SETTLEMENTS AND TRADITIONAL AFFAIRS  
 CONTRACT No. LDPWRI-B/20362

C.2.13.4	The tender shall be signed by a person duly authorized to do so.
C.2.13.5	The employer's details and address for delivery of tender offers and identification details that are to be shown on each tender offer package are:  <b>Location of tender box: DEPARTMENT OF PUBLIC WORKS, ROADS &amp; INFRASTRUCTURE.</b> <b>Physical address: Corner River and Blaauwberg Streets, Ladanna, 0699</b> <b>Identification details:</b> Sealed Tender with Tender reference number, Title of Tender and the closing date and time of the tender.
C.2.15.1	The closing time for submission of tender offers is as stated in the Tender Notice and Invitation to Tender. Telephonic, telegraphic, telex, facsimile or e-mailed tender offers will not be accepted.
C.2.16.1	The tender offer validity period is <b>12 weeks or 90 days</b> .
C.2.16.2	The tender accepts that a tender submission that has been submitted to the employer may only be withdrawn or substituted by giving the employer's agent written notice before the closing time for tenders that a tender is to be withdrawn or substituted. If the validity period stated in C.2.16 lapses before the employer evaluating tender, the contractor reserves the right to review the price based on Consumer Price Index (CPI).
C.3.1	The tenderer is required to indicate how they claim points for each preference point system and attached relevant supporting documents. The specific goals for claiming of preference points include the following: <ul style="list-style-type: none"> <li>- Persons who had no franchise in national elections prior to 1983 and 1993</li> <li>- Women</li> <li>- Disabled persons</li> <li>- Promotion of SMMEs</li> <li>- Enterprise located in Limpopo Province</li> <li>- Promotion of youth</li> </ul>
	<p><b><i>CIDB Grading Certificate</i></b></p> <p>Tenders are required to provide proof of registration with the CIDB register of contractors indicating the category of registration, grading as well as the CRS number of the tenderer.</p> <p><b><i>Letter of Good Standing</i></b></p> <p>Tender are required to submit, bound with the tender submission, a letter of good from the compensation commissioner indicating that the bidder is in good standing.</p>
C3.2	Notwithstanding any requests for confirmation of receipt of Addenda issued, the tenderer shall be deemed to have received such addenda if the employer can show proof of transmission thereof (or a notice in respect thereof) via electronic mail, facsimile or registered post.
C.3.4.1	Tenders will <b>not</b> be opened immediately after the closing time for tenders.

Bidder's initials

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES FOR THE LIMPOPO DEPARTMENT OF COOPERATIVE GOVERNANCE, HUMAN SETTLEMENTS AND TRADITIONAL AFFAIRS  
CONTRACT No. LDPWRI-B/20362**

<p>C.3.11</p>	<p>The tenderers will be evaluated in four stages</p> <ul style="list-style-type: none"> <li>(i) Stage 1: Compliance with mandatory requirements as stated in Part T1.1</li> <li>(ii) Stage 2: Risk assessment on current projects</li> <li>(iii) Stage 3: Price</li> <li>(iv) Stage 4: Preference</li> </ul> <p>The technical capacity (functionality) of the contractors will not be evaluated any further during evaluation of the RFQ. However, the contractors will be required to declare the status of their key staff and any administrative compliance. In cases where there are changes in the key staff, the contractor should provide CVs and qualifications of the new staff to LDPWRI. The new staff should have similar skills, qualifications and experience as the staff submitted during tender. Similarly, the contractors will be expected to provide an update on any changes in their administrative compliances – and should submit the required SBD document in such cases.</p> <p>The award will only be issued to contractors with valid Tax Clearance certificates, active CIDB grading and the contractor who meets all the legislative requirement – this shall be verified by SCM in line with the departmental SCM Policy.</p> <p>The total value of current projects for a contractor under consideration cannot exceed the twice the maximum value of their relevant CIDB grade.<sup>1</sup></p>
	<ul style="list-style-type: none"> <li>a) Stage 1: Administrative Compliance: The Compliance or compulsory documents and returnables are detailed in Section T.2.1 of this tender document. Failure to submit, complete or comply with these requirements will lead to automatic disqualification.</li> <li>b) Stage 2: Risk assessment on current projects</li> </ul> <p>The total value of current projects for a contractor under consideration cannot exceed the twice the maximum value of their relevant CIDB grade.</p>

Bidder's initials



**Stage 3 and 4:**

The procedure for final evaluation of responsive tenders is Method 2 (Financial offer and preference). The total number of tender evaluation points ( $T_{EV}$ ) shall be determined in accordance with the following formula.

$$T_{EV} = N_{FO} + N_P$$

- a)  $N_{FO}$  is the number of tender evaluation points awarded for the financial offer made. The score for financial offer is calculated using the following formula:

$$P = A * \left(1 - \frac{(P_o - P_m)}{P_m}\right)$$

Where:

A is 80 since the estimated financial value of works inclusive of VAT is equals or is less than R 50,000,000.00.

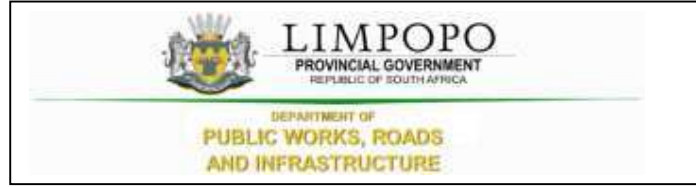
P is the points awarded to the bid under consideration

$P_m$  is the lowest Comparative bid price

$P_o$  is the comparative price under consideration

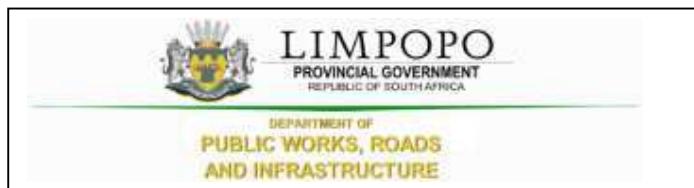
$N_P$  is the number of tender evaluation points awarded for preferences claimed in accordance with the Preferencing Schedule in 3.18

Bidder's initials



## PART T2: RETURNABLE DOCUMENTS

Bidder's initials



## T2.1 : LIST OF RETURNABLE DOCUMENTS

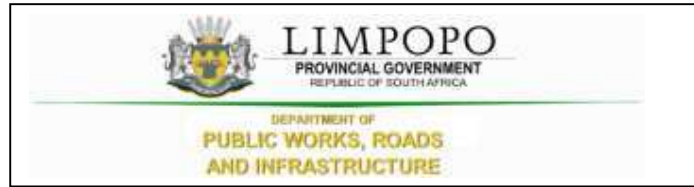
The following documents will form part of the documents submitted to the Contractors as part of the Request for Proposals:

- 2.1 Fully completed Form of Offer
- 2.2 Bills of Quantities
- 2.3 Proof of specific goal for award of the preference points as determined on the Request for Proposal
- 2.4 SBD 6.1.
- 2.5 Declaration on the status of Administration compliance.
- 2.6 CIDB grading certificate
- 2.7 CSD Report
- 2.8 Tax clearance certificate
- 2.9 Declaration of current projects

Failure by the service provider to submit or complete item 2.1 or 2.2 will render their proposal not responsive and will not be considered.

The bidder should also not appear on the National Treasury's list of black listed entities

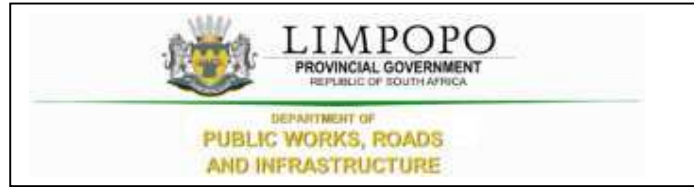
Bidder's initials



## T 2.2 : RETURNABLE SCHEDULE

	Document Name	Returnable document
1.	Preferencing schedule:	<input type="checkbox"/> Yes <input type="checkbox"/> No
2.	Proposed amendments and qualifications (if applicable)	<input type="checkbox"/> Yes <input type="checkbox"/> No
3.	SBD 1: Invitation to tender	<input type="checkbox"/> Yes <input type="checkbox"/> No
4.	SBD 6.1: Reference Points claim form in terms of the Preferential Procurement Regulations 2017 or amended	<input type="checkbox"/> Yes <input type="checkbox"/> No
5.	Form of offer	<input type="checkbox"/> Yes <input type="checkbox"/> No
6.	CSD summary report	<input type="checkbox"/> Yes <input type="checkbox"/> No
7.	Original tax clearance certificate or tax pin	<input type="checkbox"/> Yes <input type="checkbox"/> No
8.	Priced bills of quantities	<input type="checkbox"/> Yes <input type="checkbox"/> No
9.	Proof of CIDB class grading: 6GB or higher.	<input type="checkbox"/> Yes <input type="checkbox"/> No
10.	Declaration with regard to current projects	<input type="checkbox"/> Yes <input type="checkbox"/> No

Bidder's initials



## Declaration on the status of administrative compliance

Please indicate, by circling either **Yes** or **No**, whether the administrative information submitted with the original framework tender documents has changed or not. If yes, kindly provide the particulars below and any supporting documents.

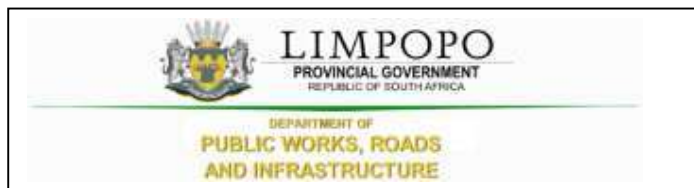
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.....  
.....

Signed ..... Date .....

Name ..... Position .....

*Enterprise*  
.....

Bidder's initials



## Record of Addenda to tender documents

We confirm that the following communications received from the Employer before the submission of this tender offer, amending the tender documents, have been taken into account in this tender offer:

	Date	Title or Details
1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

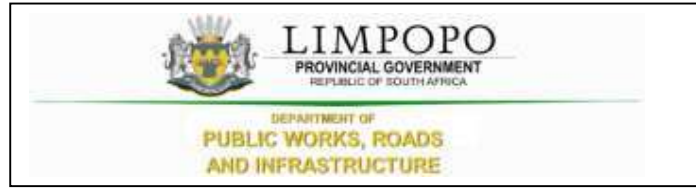
Attach additional pages if more space is required.

Signed \_\_\_\_\_ Date \_\_\_\_\_

Name \_\_\_\_\_ Position \_\_\_\_\_

Tenderer \_\_\_\_\_

Bidder's initials



### Proposed amendments and qualifications

The Tenderer should record any deviations or qualifications he may wish to make to the tender documents in this Returnable Schedule. Alternatively, a tenderer may state such deviations and qualifications in a covering letter to his tender and reference such letter in this schedule.

The Tenderer's attention is drawn to clause 5.8 of SANS 10845-3 regarding the employer's handling of material deviations and qualifications.

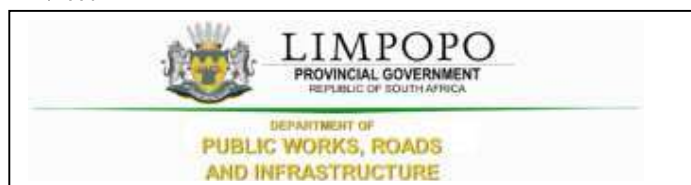
Page	Clause or item	Proposal

Signed \_\_\_\_\_ Date \_\_\_\_\_

Name \_\_\_\_\_ Position \_\_\_\_\_

Tenderer \_\_\_\_\_

Bidder's initials



**SBD 1**

**PART A: INVITATION TO BID**

<b>YOU ARE HEREBY INVITED TO BID FOR REQUIREMENTS OF THE LIMPOPO DEPARTMENT OF PUBLIC WORKS, ROADS AND INFRASTRUCTURE</b>					
<b>BID NUMBER:</b>	LDPWRI-B/20362	<b>CLOSING DATE</b>	As per Tender Advert	<b>CLOSING TIME:</b>	11:00am
<b>DESCRIPTION</b>	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES IN THE WATERBERG DISTRICT</b>				
BID RESPONSE DOCUMENTS MAY BE DEPOSITED IN THE BID BOX SITUATED AT (STREET ADDRESS)					
DEPARTMENT OF PUBLIC WORKS, ROADS & INFRASTRUCTURE.					
Physical address: Corner River and Blaauwberg Streets, Ladanna, 0699.					
<b>BIDDING PROCEDURE ENQUIRIES MAY BE DIRECTED TO</b>					
CONTACT PERSON	Mr. NJ Motsopye				
TELEPHONE NUMBER	0152847126	E-MAIL ADDRESS	motsopyen@dpw.limpopo.gov.za		
CONTACT PERSON (TECHNICAL)	Mr. Vincent Maluleke				
TELEPHONE NUMBER	0152847219	E-MAIL ADDRESS	<a href="mailto:malulekev@dpw.limpopo.gov.za">malulekev@dpw.limpopo.gov.za</a>		
<b>SUPPLIER INFORMATION</b>					
NAME OF BIDDER					
POSTAL ADDRESS					
STREET ADDRESS					
TELEPHONE NUMBER	CODE		NUMBER		
CELLPHONE NUMBER					
E-MAIL ADDRESS					
VAT REGISTRATION NUMBER					
SUPPLIER COMPLIANCE STATUS	TAX COMPLIANCE SYSTEM PIN:		OR	CENTRAL SUPPLIER DATABASE No:	MAAA
<i>ARE YOU THE ACCREDITED REPRESENTATIVE IN SOUTH AFRICA FOR THE GOODS /SERVICES /WORKS OFFERED?</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES ENCLOSE PROOF]			<i>ARE YOU A FOREIGN BASED SUPPLIER FOR THE GOODS /SERVICES /WORKS OFFERED?</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No [IF YES, ANSWER THE QUESTIONNAIRE BELOW ]
<b>QUESTIONNAIRE TO BIDDING FOREIGN SUPPLIERS</b>					
IS THE ENTITY A RESIDENT OF THE REPUBLIC OF SOUTH AFRICA (RSA)?				<input type="checkbox"/> YES	<input type="checkbox"/> NO
DOES THE ENTITY HAVE A BRANCH IN THE RSA?				<input type="checkbox"/> YES	<input type="checkbox"/> NO
DOES THE ENTITY HAVE A PERMANENT ESTABLISHMENT IN THE RSA?				<input type="checkbox"/> YES	<input type="checkbox"/> NO
DOES THE ENTITY HAVE ANY SOURCE OF INCOME IN THE RSA?				<input type="checkbox"/> YES	<input type="checkbox"/> NO
IS THE ENTITY LIABLE IN THE RSA FOR ANY FORM OF TAXATION?				<input type="checkbox"/> YES	<input type="checkbox"/> NO
<b>IF THE ANSWER IS "NO" TO ALL OF THE ABOVE, THEN IT IS NOT A REQUIREMENT TO REGISTER FOR A TAX COMPLIANCE STATUS SYSTEM PIN CODE FROM THE SOUTH AFRICAN REVENUE SERVICE (SARS) AND IF NOT REGISTER AS PER 2.3 BELOW.</b>					

Bidder's initials

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## PART B: TERMS AND CONDITIONS FOR BIDDING

<b>1. BID SUBMISSION:</b>
1.1. BIDS MUST BE DELIVERED BY THE STIPULATED TIME TO THE CORRECT ADDRESS. LATE BIDS WILL NOT BE ACCEPTED FOR CONSIDERATION. 1.2. <b>ALL BIDS MUST BE SUBMITTED ON THE OFFICIAL FORMS PROVIDED–(NOT TO BE RE-TYPED) OR IN THE MANNER PRESCRIBED IN THE BID DOCUMENT.</b> 1.3. THIS BID IS SUBJECT TO THE PREFERENTIAL PROCUREMENT POLICY FRAMEWORK ACT, 2000 AND THE PREFERENTIAL PROCUREMENT REGULATIONS, 2017, THE GENERAL CONDITIONS OF CONTRACT (GCC) AND, IF APPLICABLE, ANY OTHER SPECIAL CONDITIONS OF CONTRACT. 1.4. <b>THE SUCCESSFUL BIDDER WILL BE REQUIRED TO FILL IN AND SIGN A WRITTEN CONTRACT FORM (SBD7).</b>
<b>2. TAX COMPLIANCE REQUIREMENTS</b>
2.1 BIDDERS MUST ENSURE COMPLIANCE WITH THEIR TAX OBLIGATIONS. 2.2 BIDDERS ARE REQUIRED TO SUBMIT THEIR UNIQUE PERSONAL IDENTIFICATION NUMBER (PIN) ISSUED BY SARS TO ENABLE THE ORGAN OF STATE TO VERIFY THE TAXPAYER'S PROFILE AND TAX STATUS. 2.3 APPLICATION FOR TAX COMPLIANCE STATUS (TCS) PIN MAY BE MADE VIA E-FILING THROUGH THE SARS WEBSITE WWW.SARS.GOV.ZA. 2.4 BIDDERS MAY ALSO SUBMIT A PRINTED TCS CERTIFICATE TOGETHER WITH THE BID. 2.5 IN BIDS WHERE CONSORTIA / JOINT VENTURES / SUB-CONTRACTORS ARE INVOLVED, EACH PARTY MUST SUBMIT A SEPARATE TCS CERTIFICATE / PIN / CSD NUMBER. 2.6 WHERE NO TCS PIN IS AVAILABLE BUT THE BIDDER IS REGISTERED ON THE CENTRAL SUPPLIER DATABASE (CSD), A CSD NUMBER MUST BE PROVIDED. 2.7 NO BIDS WILL BE CONSIDERED FROM PERSONS IN THE SERVICE OF THE STATE, COMPANIES WITH DIRECTORS WHO ARE PERSONS IN THE SERVICE OF THE STATE, OR CLOSE CORPORATIONS WITH MEMBERS PERSONS IN THE SERVICE OF THE STATE."

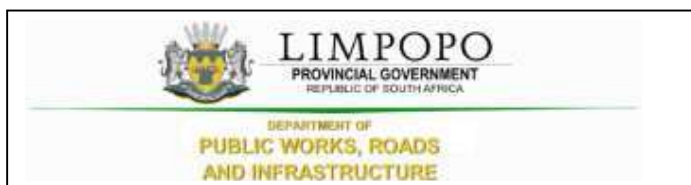
**NB: FAILURE TO PROVIDE / OR COMPLY WITH ANY OF THE ABOVE PARTICULARS MAY RENDER THE BID INVALID.**

SIGNATURE OF BIDDER: .....

CAPACITY UNDER WHICH THIS BID IS SIGNED: .....  
 (Proof of authority must be submitted e.g. company resolution)

DATE: .....

Bidder's initials



SBD 6.1

## PREFERENCE POINTS CLAIM FORM IN TERMS OF THE PREFERENTIAL PROCUREMENT REGULATIONS 2022

This preference form must form part of all tenders invited. It contains general information and serves as a claim form for preference points for specific goals.

**NB: BEFORE COMPLETING THIS FORM, TENDERERS MUST STUDY THE GENERAL CONDITIONS, DEFINITIONS AND DIRECTIVES APPLICABLE IN RESPECT OF THE TENDER AND PREFERENTIAL PROCUREMENT REGULATIONS, 2022**

### 1. GENERAL CONDITIONS

1.1 The following preference point systems are applicable to invitations to tender:

- the 80/20 system for requirements with a Rand value of up to R50 000 000 (all applicable taxes included); and
- the 90/10 system for requirements with a Rand value above R50 000 000 (all applicable taxes included).

### 1.2 To be completed by the organ of state

*(delete whichever is not applicable for this tender).*

- a) The applicable preference point system for this tender is the 90/10 preference point system.
- b) The applicable preference point system for this tender is the 80/20 preference point system.
- c) Either the 90/10 or 80/20 preference point system will be applicable in this tender. The lowest/ highest acceptable tender will be used to determine the accurate system once tenders are received.

1.3 Points for this tender (even in the case of a tender for income-generating contracts) shall be awarded for:

- (a) Price; and
- (b) Specific Goals.

### 1.4 To be completed by the organ of state:

The maximum points for this tender are allocated as follows:

Bidder's initials

	POINTS
<b>PRICE</b>	80
<b>SPECIFIC GOALS</b>	20
<b>Total points for Price and SPECIFIC GOALS</b>	100

1.5 Failure on the part of a tenderer to submit proof or documentation required in terms of this tender to claim points for specific goals with the tender, will be interpreted to mean that preference points for specific goals are not claimed.

1.6 The organ of state reserves the right to require of a tenderer, either before a tender is adjudicated or at any time subsequently, to substantiate any claim in regard to preferences, in any manner required by the organ of state.

**2. DEFINITIONS**

- (a) “**tender**” means a written offer in the form determined by an organ of state in response to an invitation to provide goods or services through price quotations, competitive tendering process or any other method envisaged in legislation;
- (b) “**price**” means an amount of money tendered for goods or services, and includes all applicable taxes less all unconditional discounts;
- (c) “**rand value**” means the total estimated value of a contract in Rand, calculated at the time of bid invitation, and includes all applicable taxes;
- (d) “**tender for income-generating contracts**” means a written offer in the form determined by an organ of state in response to an invitation for the origination of income-generating contracts through any method envisaged in legislation that will result in a legal agreement between the organ of state and a third party that produces revenue for the organ of state, and includes, but is not limited to, leasing and disposal of assets and concession contracts, excluding direct sales and disposal of assets through public auctions; and
- (e) “**the Act**” means the Preferential Procurement Policy Framework Act, 2000 (Act No. 5 of 2000).
- (f)

**3. FORMULAE FOR PROCUREMENT OF GOODS AND SERVICES**

**3.1. POINTS AWARDED FOR PRICE**

**3.1.1 THE 80/20 OR 90/10 PREFERENCE POINT SYSTEMS**

A maximum of 80 or 90 points is allocated for price on the following basis:

$$Ps = 80 \left( 1 - \frac{Pt - Pmin}{Pmin} \right) \text{ or } Ps = 90 \left( 1 - \frac{Pt - Pmin}{Pmin} \right)$$

Where

Bidder's initials

- Ps = Points scored for price of tender under consideration  
Pt = Price of tender under consideration  
Pmin = Price of lowest acceptable tender

### 3.2. FORMULAE FOR DISPOSAL OR LEASING OF STATE ASSETS AND INCOME GENERATING PROCUREMENT

#### 3.2.1. POINTS AWARDED FOR PRICE

A maximum of 80 or 90 points is allocated for price on the following basis:

$$Ps = 80 \left( 1 + \frac{Pt - P_{max}}{P_{max}} \right) \quad \text{or} \quad Ps = 90 \left( 1 + \frac{Pt - P_{max}}{P_{max}} \right)$$

Where

- Ps = Points scored for price of tender under consideration  
Pt = Price of tender under consideration  
Pmax = Price of highest acceptable tender

### 4. POINTS AWARDED FOR SPECIFIC GOALS

- 4.1. In terms of Regulation 4(2); 5(2); 6(2) and 7(2) of the Preferential Procurement Regulations, preference points must be awarded for specific goals stated in the tender. For the purposes of this tender the tenderer will be allocated points based on the goals stated in table 1 below as may be supported by proof/ documentation stated in the conditions of this tender:
- 4.2. In cases where organs of state intend to use Regulation 3(2) of the Regulations, which states that, if it is unclear whether the 80/20 or 90/10 preference point system applies, an organ of state must, in the tender documents, stipulate in the case of—
- (a) an invitation for tender for income-generating contracts, that either the 80/20 or 90/10 preference point system will apply and that the highest acceptable tender will be used to determine the applicable preference point system; or
  - (b) any other invitation for tender, that either the 80/20 or 90/10 preference point system will apply and that the lowest acceptable tender will be used to determine the applicable preference point system,
- then the organ of state must indicate the points allocated for specific goals for both the 90/10 and 80/20 preference point system.

Bidder's initials

**Table 1: Specific goals for the tender and points claimed are indicated per the table below.**

*(Note to organs of state: Where either the 90/10 or 80/20 preference point system is applicable, corresponding points must also be indicated as such.*

*Note to tenderers: The tenderer must indicate how they claim points for each preference point system.)*

The specific goals allocated points in terms of this tender	Number of points allocated (90/10 system) (To be completed by the organ of state)	Number of points allocated (80/20 system) (To be completed by the organ of state)	Number of points claimed (90/10 system) (To be completed by the tenderer)	Number of points claimed (80/20 system) (To be completed by the tenderer)
Persons who had no franchise in national elections prior to 1983 and 1993 ( <b>Attach certified copy of South African ID as proof</b> )	2	6		
Women ( <b>Attach Director's certified copy of South African ID as proof + company registration documents</b> )	1	3		
Disabled persons ( <b>Attach letter from Health Professional as proof</b> )	1	2		
Promotion of SMMEs ( <b>Attach financial statement as proof</b> )	1	2		
Enterprises located in Limpopo Province ( <b>Attach proof of address / Lease agreement</b> )	1	2		
Promotion of enterprises located in the relevant District ( <b>Attach proof of address / Lease agreement</b> )	1	2		
Promotion of youth ( <b>Attach Director's</b>	1	1		

Bidder's initials

<b>certified copy of South African ID as proof)</b>				
Promotion of enterprises located in rural areas <b>(Attach letter from Traditional Council/ Chief/Ward Councilor if not Traditional Council)</b>	2	2		

**DECLARATION WITH REGARD TO COMPANY/FIRM**

4.3. Name of company/firm.....

4.4. Company registration number: .....

4.5. TYPE OF COMPANY/ FIRM

- Partnership/Joint Venture / Consortium
- One-person business/sole propriety
- Close corporation
- Public Company
- Personal Liability Company
- (Pty) Limited
- Non-Profit Company
- State Owned Company

[TICK APPLICABLE BOX]

4.6. I, the undersigned, who is duly authorised to do so on behalf of the company/firm, certify that the points claimed, based on the specific goals as advised in the tender, qualifies the company/ firm for the preference(s) shown and I acknowledge that:

- i) The information furnished is true and correct;
- ii) The preference points claimed are in accordance with the General Conditions as indicated in paragraph 1 of this form;
- iii) In the event of a contract being awarded as a result of points claimed as shown in paragraphs 1.4 and 4.2, the contractor may be required to furnish documentary proof to the satisfaction of the organ of state that the claims are correct;
- iv) If the specific goals have been claimed or obtained on a fraudulent basis or any of the conditions of contract have not been fulfilled, the organ of state may, in addition to any other remedy it may have –
  - (a) disqualify the person from the tendering process;
  - (b) recover costs, losses or damages it has incurred or suffered as a result of that person’s conduct;
  - (c) cancel the contract and claim any damages which it has suffered as a result of having to make less favourable arrangements due to such cancellation;

Bidder's initials

- (d) recommend that the tenderer or contractor, its shareholders and directors, or only the shareholders and directors who acted on a fraudulent basis, be restricted from obtaining business from any organ of state for a period not exceeding 10 years, after the *audi alteram partem* (hear the other side) rule has been applied; and
- (e) forward the matter for criminal prosecution, if deemed necessary.

.....  
**SIGNATURE(S) OF TENDERER(S)**

**SURNAME AND NAME:** .....

**DATE:** .....

**ADDRESS:** .....

.....

.....

.....

Bidder's initials



**DECLARATION OF CURRENT PROJECTS**

Current value refers to current value of projects for both General Building (GB) and Civil Engineering (CE).

Please list the current projects which your company is busy executing in the table below.

*If no projects at the moment the tender must indicate/write on this table*

**Table 1 List of current projects executed by the bidder**

1. Do you have the current projects being executed Yes/No?
2. If Yes, please indicate the details on the table below. Please note that it is compulsory to answer the question and if the answer is yes, complete the table. If the question not answered or the table not completed the points will not be allocated.

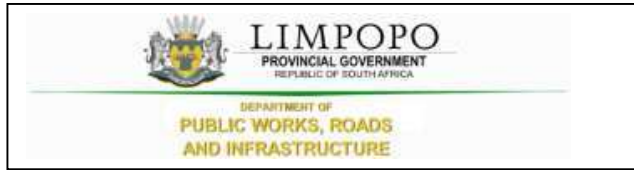
Project Description	Project Value	Start date	Planned end date	Client Name	Contact Person number

Bidder's initials



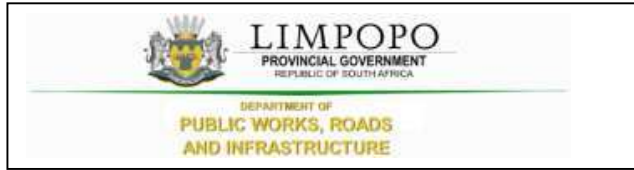
REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES FOR THE LIMPOPO DEPARTMENT OF COPERATIVE GOVERNANCE, HUMAN SETTLEMENTS AND TRADITIONAL AFFAIRS  
 CONTRACT No. LDPWRI-B/20362


Bidder's initials



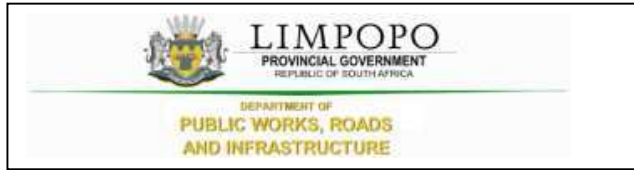
## THE CONTRACT

Bidder's initials



## PART C1: AGREEMENT AND CONTRACT DATA

Bidder's initials



## C1.1. FORM OF OFFER AND ACCEPTANCE

### Offer

The employer, identified in the acceptance signature block, has solicited offers to enter into a contract in respect of the following works:

#### REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICES AT WATERBERG DISTRICT

The tenderer, identified in the offer signature block, has examined the documents listed in the tender data and addenda thereto as listed in the tender schedules, and by submitting this offer has accepted the conditions of tender.

By the representative of the tenderer, deemed to be duly authorized, signing this part of the Form of Offer and Acceptance, the tenderer offers to perform all of the obligations and liabilities of the contractor under the contract including compliance with all its terms and conditions according to their true intent and meaning for an amount to be determined in accordance with the conditions of contract identified in the contract data.

#### THE OFFERED TOTAL OF THE PRICE INCLUSIVE OF VALUE ADDED TAX IS (CONTRACT PRICE)

Rand (in words); R.....

.....

(in figures) R.....

This offer may be accepted by the employer by signing the acceptance part of this form of offer and acceptance and returning one copy of this document to the tenderer before the end of the period of validity stated in the tender data, whereupon the tenderer becomes the party named as the contractor in the conditions of contract identified in the contract data.

Signature(s) .....

Name(s) .....

Capacity .....

**For the tenderer:** .....

Name & signature of witness .....

Date

Bidder's initials

## Acceptance (To be completed by the employer – not the bidder)

By signing this part of this Form of Offer and Acceptance, the *Employer* identified below accepts the tenderer's Offer. In consideration thereof, the *Employer* shall pay the Consultant the amount due in accordance with the *conditions of contract* identified in the Contract Data. Acceptance of the tenderer's Offer shall form an agreement between the *Employer* and the tenderer upon the terms and conditions contained in this agreement and in the contract that is the subject of this agreement.

The terms of the contract, are contained in:

- Part C1            Agreements and Contract Data, (which includes this Form of Offer and Acceptance)
- Part C2            Pricing Data
- Part C3            Scope of Work

and drawings and documents (or parts thereof), which may be incorporated by reference into the above listed Parts.

Deviations from and amendments to the documents listed in the Tender Data and any addenda thereto listed in the Returnable Schedules as well as any changes to the terms of the Offer agreed by the tenderer and the *Employer* during this process of offer and acceptance, are contained in the Schedule of Deviations attached to and forming part of this Form of Offer and Acceptance. No amendments to or deviations from said documents are valid unless contained in this Schedule.

The tenderer shall within two weeks of receiving a completed copy of this agreement, including the Schedule of Deviations (if any), contact the *Employer's* agent (whose details are given in the Contract Data) to arrange the delivery of any securities, bonds, guarantees, proof of insurance and any other documentation to be provided in terms of the *conditions of contract* identified in the Contract Data. Failure to fulfil any of these obligations in accordance with those terms shall constitute a repudiation of this agreement.

Notwithstanding anything contained herein, this agreement comes into effect on the date when the tenderer receives one fully completed original copy of this document, including the Schedule of Deviations (if any). Unless the tenderer (now *Consultant*) within five working days of the date of such receipt notifies the *Employer* in writing of any reason why he cannot accept the contents of this agreement, this agreement shall constitute a binding contract between the Parties.

### For the Employer

Signature .....

Name .....

Capacity .....

### Name and address of organization

### Signature and Name of Witness

Signature .....

Name .....

Capacity .....

Bidder's initials

## Schedule of Deviations

1 Subject .....

Details .....

.....  
.....  
.....

2 Subject .....

Details .....

.....  
.....  
.....

3 Subject .....

Details .....

.....  
.....  
.....

4 Subject .....

Details .....

.....  
.....  
.....

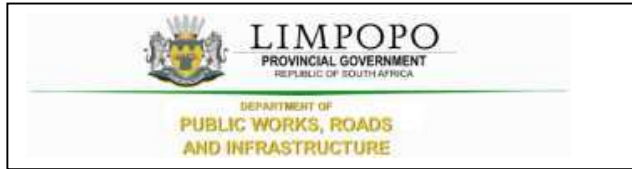
By the duly authorised representatives signing this agreement, the *Employer* and the Tenderer agree to and accept the foregoing schedule of deviations as the only deviations from and amendments to the documents listed in the Tender Data and addenda thereto as listed in the returnable schedules, as well as any confirmation, clarification or changes to the terms of the offer agreed by the Tenderer and the *Employer* during this process of offer and acceptance.

It is expressly agreed that no other matter whether in writing, oral communication or implied during the period between the issue of the tender documents and the receipt by the tenderer of a completed signed copy of this Agreement shall have any meaning or effect in the contract between the parties arising from this agreement.

.....

Bidder's initials

--



## PART C2: PRICING DATA

### C2.1 CONTRACT DATA

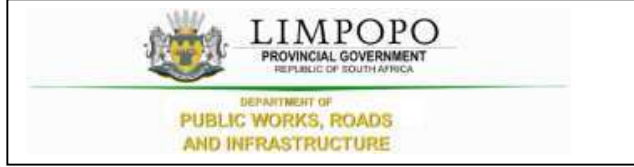
The Conditions of Contract are clauses 1 to 41 of the **JBCC Series 2000 Principal Building Agreement (Edition 4.1 of March 2005)** published by the Joint Building Contracts Committee.

Copies of these conditions of contract may be obtained from the Association of South African Quantity Surveyors (011-3154140), Master Builders Association (011-205-9000; 057- 3526269) South African Association of Consulting Engineers (011-4632022) or South African Institute of Architects (051-4474909; 011-4860684; 053-8312003;)

The JBCC Principal Building Agreement makes several references to the Contract Data for specific data, which together with these conditions collectively describe the risks, liabilities, and obligations of the contracting parties and the procedures for the administration of the Contract. The Contract Data shall have precedence in the interpretation of any ambiguity or inconsistency between it and the JBCC Principal Building Agreement.

The contractor shall achieve in the performance of the contract the Contract Participation Goals (CPG) relating to the engagement of targeted enterprises as established in the **CIDB Standard for Indirect Targeting for Enterprise Development through Construction Works Contracts Gazette Notice No. 36190 of 25 February 2013.**"

Bidder's initials



## PART C2.2: BILLS OF QUANTITIES

Bidder's initials



Item No	Quantity	Rate	Amount
<b><u>BILL NO. 1</u></b>			
<b><u>PRELIMINARIES NOTES</u></b>			
<b><u>SECTION NO.1</u></b>			
i)			
The agreement is to be the JBCC Series 2000 Principal Building Agreement (Edition 4.1 Code 2101 March 2005) prepared by the Joint Building Contracts Committee			
ii)			
The preliminaries are to be the JBCC Series 2000 Preliminaries prepared by the Joint Building Contracts Committee, Code 2103 May 2005 Edition and shall be deemed to be incorporated herein			
iii)			
Tenderers are referred to the abovementioned documents for the full intent and meaning of each clause thereof (hereinafter referred to by heading and clause number only) for which such allowance must be made as may be considered necessary			
iv)			
Where standard clauses or alternatives are not entirely applicable to this contract such modifications, corrections or supplements as will apply are given under each relevant clause heading			
v)			
Where any item is not relevant to this specific contract such item is marked N/A (signifying "not applicable")			
vi)			
If Alternative A as set out in clause B10.3 hereinafter is to be used for the adjustment of the preliminaries each item priced is to be allocated to one or more of the three categories, where "F" denotes a fixed amount (amount not to be varied), "V" denotes an amount variable in proportion to value and "T" denotes an amount in proportion to time			
<b>SECTION A: PRINCIPAL BUILDING AGREEMENT READ IN CONJUNCTION WITH THE CONTRACT DATA</b>			
<b>Carried to Collection</b>			
Section No. 1 Bill No. 1 Preliminaries			R
<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

**Definitions (A1)**

1 Definitions and interpretation (clause 1)

F:..... V:..... T:.....

Item

**Objective (A2)**

2 Offer acceptance and performance (clause 2)

F:..... V:..... T:.....

Item

**Preparation (A3-A14)**

3 Documents (clause 3)

F:..... V:..... T:.....

Item

4 Design responsibility (clause 4)

F:..... V:..... T:.....

Item

5 Employer's agents (clause 5)

F:..... V:..... T:.....

Item

6 Site representative (clause 6)

F:..... V:..... T:.....

Item

7 Compliance with regulations (clause 7)

F:..... V:..... T:.....

Item

8 Works risk (clause 8)

F:..... V:..... T:.....

Item

9 Indemnities (clause 9)

F:..... V:..... T:.....

Item

10 Works insurance (clause 10)

F:..... V:..... T:.....

Item

**Carried to Collection**

R

Section No. 1  
 Bill No. 1  
 Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
 FOR DEPARTMENT OF COGHSTA**

11	Liability insurances (clause 11) F:..... V:..... T:.....	Item
12	Effecting insurance (clause 12) F:..... V:..... T:.....	Item
13	No clause (clause 13) F:..... V:..... T:.....	Item
14	Security (clause 14) F:..... V:..... T:.....	Item
<b><u>Execution (A15-A22)</u></b>		
15	Preparation for and execution of the works (clause 15) F:..... V:..... T:.....	Item
16	Access to the works (clause 16) F:..... V:..... T:.....	Item
17	Contract instructions (clause 17) F:..... V:..... T:.....	Item
18	Assignment (clause 19) F:..... V:..... T:.....	Item
19	Setting out of the works (clause 18) F:..... V:..... T:.....	Item

Carried to Collection

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Section No. 1  
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Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

The contractor shall notify the principal agent if any encroachments of adjoining foundations, buildings, structures, pavements, boundaries, etc. exist in order that the necessary arrangements may be made for the rectification of any such encroachments.

20 Nominated subcontractors (clause 20)  
 F:..... V:..... T:.....

Item

21 Selected subcontractors (clause 21)  
 F:..... V:..... T:.....

Item

22 Employer's Direct Contractors (clause 22)  
 F:..... V:..... T:.....

Item

23 Contractor's Domestic Sub-Contractors (Clause 23)  
 F:..... V:..... T:.....

Item

**Completion (A24-A30)**

24 Practical completion (clause 24)  
 F:..... V:..... T:.....

Item

25 Works completion (clause 25)  
 F:..... V:..... T:.....

Item

26 Final completion (clause 26)  
 F:..... V:..... T:.....

Item

27 Latent defects liability period (clause 27)  
 F:..... V:..... T:.....

Item

**Carried to Collection**

R

Section No. 1  
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 Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
 FOR DEPARTMENT OF COGHSTA**

28	Sectional completion (clause 28) F:..... V:..... T:.....	Item	
29	Revision of date of practical completion (clause 29) F:..... V:..... T:.....	Item	
30	Penalty for non-completion (clause 30) F:..... V:..... T:.....	Item	
<b><u>Payment (A31 - A35)</u></b>			
31	Interim payment to the contractor (clause 31) F:..... V:..... T:.....	Item	
32	Adjustment to the contract value (clause 32) F:..... V:..... T:.....  Notwithstanding the provisions of clause 32.13 fluctuations in costs shall not be adjusted as per heyillet formular (CPA)	Item	
33	Recovery of expense and loss (clause 33) F:..... V:..... T:.....	Item	
34	Final account and final payment (clause 34) F:..... V:..... T:.....	Item	
35	Payment to other parties (clause 35) F:..... V:..... T:.....	Item	
<b>Carried to Collection</b>			R
Section No. 1 Bill No. 1 Preliminaries <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE                  FOR DEPARTMENT OF COGHSTA</b>			

**Cancellation (A36-A39)**

36 Cancellation by employer - contractor's default (clause 36)

F:..... V:..... T:.....

Item

37 Cancellation by employer - loss and damage (clause 37)

F:..... V:..... T:.....

Item

38 Cancellation by contractor - employer's default (clause 38)

F:..... V:..... T:.....

Item

39 Cancellation - cessation of the works (clause 39)

F:..... V:..... T:.....

Item

**Dispute (A40)**

40 Settlement of disagreements and disputes (clause 40)

F:..... V:..... T:.....

Item

**Contract variables (A41)**

41 The schedule:Pre-tender information (clause 41)

F:..... V:..... T:.....

Item

Information necessary for completion of those clauses contained in the schedule which are necessary for tender purposes is given hereunder

**Carried to Collection**

R

Section No. 1  
Bill No. 1  
Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

**41.1.1**

**Employer:**

**DEPARTMENT OF PUBLIC WORKS LIMPOPO**

Postal Address:  
Private Bag x 9490  
POLOKWANE  
0700

Physical Address:  
43 Church Street  
Polokwane  
0699

Tel . (015) 284-7000 Fax (015) 284 7044  
E-mail :

**41.1.2**

**Principal Agent:**

**DEPARTMENT OF PUBLIC WORKS LIMPOPO**

Postal Address:  
Private Bag x 9490  
POLOKWANE  
0700

Physical Address:  
43 Church Street  
Polokwane  
0699

Tel . (015) 284-7000 Fax (015) 284 7044  
E-mail :

**Carried to Collection**

R

Section No. 1  
Bill No. 1  
Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

**41.1.3**

**Other Agents: Architect**

**DEPARTMENT OF PUBLIC WORKS LIMPOPO**

Postal Address:  
Private Bag x 9490  
POLOKWANE  
0700

Physical Address:  
43 Church Street  
Polokwane  
0699

Tel . (015) 284-7000 Fax (015) 284 7044  
E-mail :

**41.1.4**

**Other Agents : Quantity Surveyors**

**DEPARTMENT OF PUBLIC WORKS LIMPOPO**

Postal Address:  
Private Bag x 9490  
POLOKWANE  
0700

Physical Address:  
43 Church Street  
Polokwane  
0699

Tel . (015) 284-7000 Fax (015) 284 7044  
E-mail :

**41.2 CONTRACT DETAILS**

41.2.1 Works Description:

The work consist of the construction of a new single storey library building approximately 950m2 and site works

**Carried to Collection**

Section No. 1  
Bill No. 1  
Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

R



41.2.2 Site Description:

The site is at

41.2.3 Work for installation by direct contractors:

N/A

41.2.4 This agreement is for a government contract:  
contract where there are specific options that  
are

applicable to a state organ only

Yes

41.2.5 Date on which possession of the site is intended  
to be given:

Approximately within 14 (fourteen) calendar  
days from the date of the letter of acceptance

41.2.6 Period for the commencement of the works is  
immediately after the contractor takes possession of  
the site

41.2.7 Completion in sections are required

No

41.2.8 Intended date of practical completion and the  
penalty per calendar day for the works as a  
whole:

8 calendar months from the date of the  
possession of the site and penalties will be  
0.05% of the contract sum

**Carried to Collection**

R

Section No. 1  
Bill No. 1  
Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Penalty per calendar day:  
 0.05% of the Contract Sum per calendar day on  
 which the completion of the work may be in arrears

**SPECIAL COMPLETION REQUIREMENTS**

Not applicable

42 41.2.9 Arbitration rules as recommended by the  
 Association of Arbitrators (SA)  
 F:..... V:..... T:.....

Item

43 41.2.10 The law applicable to this agreement shall be  
 that of  
 South Africa  
 F:..... V:..... T:.....

Item

**41.3 INSURANCES**

44 41.3.1 Contract work's insurance  
 All risk and Public Liability Insurance for this  
 contract shall be taken out by the Contractor in  
 the joint names of the contractor and the  
 employer. The cost of this insurance will be paid  
 by the Contractor. Any excess in respect of a  
 claim is to be paid for by the contractor  
 ..

Item

**Carried to Collection**

R

Section No. 1  
 Bill No. 1  
 Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
 FOR DEPARTMENT OF COGHSTA**

45 41.3.2 Supplementary insurance:  
  
Contractor shall be responsible for the taking out his own insurances for all plant and machinery used in the execution of this contract. The cost of this insurance shall be borne by the contractor.  
  
F..... V.....  
T.....

Item

46 41.3.3 Public liability insurance to be effected by contractor  
See clause 42.3.1  
  
F:..... V:..... T:.....

Item

**41.4 DOCUMENTS**

41.4.1 Waivers of contractors lien is required **Yes**

41.4.2 Number of construction document copies to be supplied free of charge: Three

41.4.3 State other system if document is not drawn up in accordance with the Standard System of Measuring Building Work (6th Edition) (Revised) 1999

41.4.4 Number of days for submission of priced documents:  
7 working days

Notwithstanding the provisions of Clause 41.4.4, no payments will be certified unless the priced document are agreed with the Quantity surveyors.

41.4.5 JBCC N/S Subcontract Agreement are to be included in the documents: **No**

**Carried to Collection**

R

Section No. 1  
Bill No. 1  
Preliminaries

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

41.4.6 Alternative if contract value is not adjusted using CPAP:

Prices and rates shall remain firm and fixed, there shall be no adjustment of the tender amounts

41.4.7 Details of changes made to the provision of JBCC standard documentation:

Payment will be made 21 days after issue of a payment certificate.

The Contractor shall issue a Tax Invoice immediately to enable the Employer to process payment. For accounting purposes, the Employer's VAT number as required by current legislation on the Tax invoice is **to be advised**

**SECTION B: PRELIMINARIES**

**Definition and interpretation (B1)**

47 Definition and interpretation (B1.1 - B1.6.5)

F:..... V:..... T:.....

Item

**Documents (B2)**

48 Checking of documents (B2.1)

F:..... V:..... T:.....

Item

49 These bills of quantities contain pages and annexures as indexed on the flyleaf

The items in these bills of quantities are to be read and priced in conjunction with and the descriptions regarded as amplified by the Model Preambles for Trades as recommended and published by the Association of South African Quantity Surveyors, 1997 edition, and no claim arising from brevity of description of items fully described in the said Model Preambles for Trades will be entertained

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50	Provisional bills of quantities (B2.2) F:..... V:..... T:.....	N/A	
51	Availability of construction documentation for contracts based on provisional bills of quantities (B2.3) F:..... V:..... T:.....	Item	
52	Interests of agents (B2.4) F:..... V:..... T:.....	Item	
53	Priced documents (B2.5) F:..... V:..... T:.....	Item	
54	Tender submission (B2.6) F:..... V:..... T:.....	Item	
55	Notwithstanding anything contained in this clause tenders shall be valid for a period of 45 days from the closing date of tenders F:..... V:..... T:.....	Item	
	<b><u>The site (B3)</u></b>		
56	Defined works area (B3.1) F:..... V:..... T:.....	Item	
57	The area of the works to be occupied by the contractor, any restriction on the area and the limit of access or exit will be pointed out to the contractor by the principal agent at the official site briefing meeting.	Item	
58	Geotechnical investigation (B3.2) Geotechnical information will be made available to the successful bidder at the site handover meeting F:..... V:..... T:.....	Item	
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59	<p>Inspection of the site (B3.3)</p> <p>It remains the responsibility of the bidder to visit the project site on his / her own to check and acquaint themselves with the site and its conditions before submitting a tender as no claims will be entertained later.</p>	Item
60	<p>No claims for extras arising from the contractor having failed to comply with this clause will be entertained</p> <p>F:..... V:..... T:.....</p>	Item
61	<p>Existing premises occupied (B3.4)</p> <p>F:..... V:..... T:.....</p>	Item
62	<p>Previous work - dimensional accuracy (B3.5)</p> <p>F:..... V:..... T:.....</p>	Item
63	<p>Previous work - defects (B3.6)</p> <p>F:..... V:..... T:.....</p>	Item
64	<p>Services - known (B3.7)</p> <p>F:..... V:..... T:.....</p>	Item
65	<p>Services - unknown (B3.8)</p> <p>F:..... V:..... T:.....</p>	Item
66	<p>Protection of trees etc (B3.9)</p> <p>F:..... V:..... T:.....</p>	Item
67	<p>Articles of value (B3.10)</p> <p>F:..... V:..... T:.....</p>	Item

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68	Inspection of adjoining properties etc (B3.11) F:..... V:..... T:.....	Item	
<b><u>Management of contract (B4)</u></b>			
69	Management of the works (B4.1) F: ..... V: ..... T: .....	Item	
70	Progress meetings (B4.3) F:..... V:..... T:.....	Item	
71	Technical meetings (B4.4) F:..... V:..... T:.....	Item	
<b><u>Samples and shop drawings and manufacturer's instructions (B5)</u></b>			
72	Samples of materials (B5.1) F:..... V:..... T:.....	Item	
73	Workmanship samples (B5.2) F:..... V:..... T:.....	Item	
74	Shop drawings (B5.3) F:..... V:..... T:.....	Item	
<b><u>Temporary works and plant (B6)</u></b>			
75	Deposits and fees (B6.1) F:..... V:..... T:.....	Item	
76	Enclosure of the works (B6.2) F:..... V:..... T:.....	Item	
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77	Advertising (B6.3) F:..... V:..... T:.....	Item
78	Plant, equipment, sheds and offices (B6.4) F:..... V:..... T:.....	Item
79	Main notice board (B6.5) F:..... V:..... T:.....	Item
80	Subcontractors notice board (B6.6) F:..... V:..... T:.....	Item
<b><u>Temporary services (B7)</u></b>		
81	Location (B7.1) F:..... V:..... T:.....	Item
82	Water (B7.2) F:..... V:..... T:.....	Item
83	Electricity (B7.3) F:..... V:..... T:.....	Item
84	Telecommunication equipment (B7.4) F:..... V:..... T:.....	Item
85	Ablution facilities (B7.5) F:..... V:..... T:.....	Item
<b><u>Prime cost amounts (B8)</u></b>		
86	Responsibility for prime cost amounts (B8.1) F:..... V:..... T:.....	Item

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**Attendance on N/S Subcontractors (B9)**

87	General attendance (B9.1) F:..... V:..... T:.....	Item
88	Special attendance (B9.2) F:..... V:..... T:.....	Item
89	Commissioning - Fuel, water and power (B9.3) F:..... V:..... T:.....	Item

**Financial aspects (B10)**

	Statutory taxes, duties and levies (B10.1) F:..... V:..... T:.....	Item
90	Provision for Value Added Tax (VAT) is made in the Final Summary. F:..... V:..... T:.....	Item
91	Payment of preliminaries (B10.2) F:..... V:..... T:.....	Item
92	Adjustment of preliminaries (B10.3) F:..... V:..... T:.....	Item
93	Payment certificate cash flow (B10.4) F:..... V:..... T:.....	Item
94	Contractor information supply (B10.5) F:..... V:..... T:.....	Item

**General (B11)**

95	Protection of works (B11.1) F:..... V:..... T:.....	Item
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96	Protection/isolation of existing/sectionally occupied works (B11.2) F:..... V:..... T:.....	Item	
97	Site security (B11.3) F:..... V:..... T:.....	Item	
98	Notice before covering work (B11.4) F:..... V:..... T:.....	Item	
99	Disturbance (B11.5) F:..... V:..... T:.....	Item	
100	Works cleaning and clearing (B11.6) F:..... V:..... T:.....	Item	
101	Vermin (B11.7) F:..... V:..... T:.....	Item	
102	Overhand work (B11.8) F:..... V:..... T:.....	Item	
<b><u>Schedule of variables (B12)</u></b>			
103	Pre-tender information (B12.1) F:..... V:..... T:.....	Item	
Information necessary for elections and completion of those clauses contained in the schedule which are necessary for tender purposes is given hereunder. Where no information is given it shall mean that either no details or specific requirements are available or that the clause is not relevant to this specific contract			
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12.1.1 Provisional bills of quantities (B2.2)  
The quantities are provisional: No

12.1.2 Availability of construction documentation (B2.3)  
Construction documentation is complete Yes

12.1.3 Interest of agents (B2.4)  
N/A

12.1.4 Defined works area (B3.1)  
See site information

12.1.5 Geotechnical investigation (B3.2)  
To obtain from the Project Architect

Geotechnical information will be made available to the successful bidder at the site handover meeting

12.1.6 Existing premises occupied (B3.4)

12.1.7 Services - known (B3.7)  
Existing services and points of connection will be pointed out to the successful contractor by the principal agent

12.1.8 Protection of trees (B3.9)

12.1.9 Inspection of adjoining properties (B3.11)

12.1.10 Enclosure of the works (B6.2)

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12.1.11 Offices (B6.4.3)

The contractor shall provide, maintain and remove on completion of the work an office for the exclusive use of the SEO minimum size 4 x 6 x 3m high internally, suitably insulated and ventilated, provided with electric lighting and fitted with boarded floor, desk, chair, drawing chair, drawing board and lockup drawer for drawings. The office shall be kept clean and fit for use at all times

12.1.12 Main notice board (B6.5)

The contractor shall provide, erect where directed, maintain and remove on completion of the works a notice board size 3 x 3m, all constructed of suitable boarding with flat smooth surface and with edging bead 19mm thick all round outer edges and projecting 12mm from face of boarding and rounded on front edge. The board shall be securely fixed to hoarding, where hoarding is provided, or fixed to and including a suitable supporting structure of timber or tubular posts and braces. The board is to be painted ivory white and the bead and 12mm wide dividing lines, deep blue. All wording shall be inscribed in deep blue painted "sans serif" lettering

12.1.13 Subcontractors notice board (B6.6)

A notice board is required

**No**

12.1.14 Water (B7.2)

Contractor to provide

12.1.15 Electricity (B7.3)

Contractor to provide

12.1.16 Telecommunications (B7.4)

Contractor to provide

12.1.17 Ablution facilities (B7.5)

Contractor to provide

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	<p>12.1.18 Special attendance (B9.2)</p> <p>12.1.19 Protection of the works (B11.1)</p> <p>12.1.20 Protection of existing/sectionally occupied works (B11.2) Protection is required <b>Yes</b></p> <p>12.1.21 Disturbance (B11.5)</p> <p>The contractor's attention is drawn to the fact that certain portions of the Works will be constructed in the vicinity of built up areas, The contractor shall exercise all necessary precautions to ensure the safety and convenience of the public.</p>			
104	<p>Post tender information (B12.2)</p> <p>F:..... V:..... T:.....</p> <p>12.2.1 Payment of preliminaries Alternative selected: (B)</p> <p>12.2.2 Adjustment of preliminaries Alternative selected: (A)</p> <p>12.2.3 Additional agreed preliminaries item N/A</p>	Item		
105	<p><b><u>SECTION C: SPECIFIC PRELIMINARIES</u></b></p> <p><b>PROPRIETARY BRANDED PRODUCTS</b></p> <p>The contractor shall take delivery of, handle, store, use apply and/or fix all proprietary branded products in strict accordance with the manufacturers' instruction after consultation with the manufacturer's authorized representative</p> <p>F:..... V:..... T:.....</p>	Item		
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<p>106</p>	<p><b>OVERTIME</b></p> <p>Should overtime be required to be worked for any reason whatsoever, the costs of such overtime are to be borne by the contractor unless the principal agent has specifically authorized in writing, prior to the execution thereof, that costs for such overtime are to be borne by the employer.</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>107</p>	<p><b>AS BUILT DRAWINGS</b></p> <p>The position of construction breaks and the extent of individual concrete pours are to be recorded by the contractor on the structural engineer's drawings and are to be submitted to the principal agent and the structural engineer for their records.</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>108</p>	<p><b>SITE INSTRUCTIONS</b></p> <p>Site instructions issued on site are to be recorded in triplicate in a site instruction book which is to be maintained on site by the contractor</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>109</p>	<p><b>LABOUR RECORD</b></p> <p>At the end of each week the contractor shall provide the principal agent with a written record, in schedule form, reflecting the number and description of tradesmen and labourers employed by him and all subcontractors on the works each day.</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>110</p>	<p><b>PLANT RECORD</b></p> <p>At the end of each week the contractor shall provide the principal agent with a written record, in schedule form, reflecting the number, type and capacity of all plant, excluding hand tools, currently used on the works.</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
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<p>111</p>	<p><b>NON CESSION OF MONIES</b></p> <p>The contractor shall not cede nor assign his rights or claims to any monies due or to become due under this contract</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>112</p>	<p><b>BLACK ECONOMIC EMPOWERMENT</b></p> <p>The contractor shall study and acquaint himself with the guidelines of the Black Economic Empowerment Act, and demonstrate his compliance with the requirements of the Act.</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>113</p>	<p><b>LOCAL LABOUR</b></p> <p>The contractor shall make use of local labour. It is desirable by the Employer that all unskilled labour be recruited from the local areas of the vicinity of the Works. The contractor will demonstrate his effort to fulfill compliance with this requirement</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>114</p>	<p><b>LABOUR DESK</b></p> <p>The contractor shall establish a labour desk on site with a dedicated office of maximum 9m2 with and including a desk, 2 chairs and electricity. From the labour desk, the contractor will appoint a dedicated community liaison officer. The community liaison officer will be employed by and will report to the contractor, who will in turn forward such reports to the Principal Agent.</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
<p>115</p>	<p><b>SITE ACCOMMODATION.</b></p> <p>Provide 2 office facilities for Principal Agent Representative and one for Resident Clerk of Works ( to include desk, 2chairs and Electricity per office) Provide meeting Facility to accommodate 12 chairs Provide Ablution facilities for the above</p> <p>F:..... V:..... T:.....</p>	<p>Item</p>	
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116	HEALTH AND SAFETY ACT (Act 85 of 1993)  Compliance with the Occupational Health and Safety Act (Act 85 of 1993) and all relevant and applicable regulations, especially the Construction Health & Safety Act (Act 85 of 1993) (as amended) for the duration of the contract		Item	
117	Provisions of OH&S Plan prior to commencement of works as well as a full consolidated copy of such plan at the completion of construction work inclusive of a record of all drawings, designs, copies of statutory appointments, material used and other similar information concerning completed contract		Item	
118	Implementation of approved OHS Plan for duration of contract, including daily/weekly inspections, monthly meetings, required audits, consolidated health and safety file, etc		Item	
119	Registration with Compensation Fund or approved /licensed compensation insurer		Item	
120	Full time competent employee of the Contractor as safety construction supervisor and assistant safety construction supervisors for duration of contract		Item	
121	Health and safety training and induction requirements of all persons entering the site		Item	
122	HIV AND AIDS POLICY  Observation of all legislation, policies and by-laws regulating the "AIDS" endemic and "HIV" prevention, treatment and observation		Item	
	<b><u>Provision of Training Allowance in terms of EPWP prescripts</u></b>			
123	Training allowance paid to targeted labour in terms of formal training days	PDT	1	
124	Extra over for the administration payment of training allowances to targeted labour (25% of training allowance)		Item	<b>Not Priced</b>
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125 Transport and accommodation of workers for training where it is not possible to undertake the training in close proximity to the site (Provisional Sum)

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Not Priced

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Item No	Quantity	Rate	Amount
<p><b><u>SECTION NO.2</u></b></p>			
<p><b><u>BILL NO. 1</u></b></p>			
<p><b><u>ALTERATIONS</u></b></p>			
<p>For preambles see "Model Preambles for Trades (2008 Edition)" and Supplementary preambles as specified in the Trades</p>			
<p><b><u>REMOVAL OF EXISTING WORK:</u></b></p>			
<p>NATURE OF WORK: Tenderers are advised to visit the site and to satisfy themselves as to the nature and extent of the work to be done and provide in their tenders any items not specifically mentioned which they may deem necessary for the proper completion of the work.</p>			
<p>DIMENSIONS The Contractor is advised to take all dimensions affecting the existing buildings on the site, as he will be held solely responsible for all new work being of the correct size.</p>			
<p>PIPES, ETC Special care is to be taken not to interfere unnecessary with any supply pipes or other piping that may be met with and found necessary to disconnect or cut, are to be effectively stopped off and any new connections that may be necessary are to be made with proper fittings and to the satisfaction of the Principal Agent to whom due notice must be given of any alterations to the existing services.</p>			
<p>PROTECTION In taking down and removing existing work the utmost care is to be observed to avoid any structural or other damage to the remaining portions of the buildings. The Contractor must also protect all work not removed such as walls, floors, doors, windows or other joinery, loose and fixed fittings and electrical appliances, etc. from damage during the progress of the work and provide all necessary materilas for doing so. The Contractor will be held solely responsible for any damage to persons or property and for the safety of the structure throughout the whole of this Contract and must make good at his own expense any damage that may occur.</p>			
<p>OLD USABLE MATERIALS from the</p>			
<p><b>Carried to Collection</b></p>			
<p>Section No. 2 Bill No. 1 ALTERATIONS</p>			
<p><b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b></p>			
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alterations/demolitions are to become the property of the Client. Old materials for re-use are to be carefully removed, stored and protected from injury including making good any damaged or defective parts as required before fixing. Old reusable materials are to be handed over to the Client are to be carefully removed and neatly stacked on site where directed. The remainder of the old materials and all rubbish to be immediately carted away and the site left clean and unencumbered. The Contractor should allow for removing of rubble from site on daily basis, failing which the client might stop the construction until the site has been cleaned. None of the old stock bricks from the pulling down are to be re-used for any new work. Materials to be handed over to the Client should be kept safely and handed over to the School Governing Body or the school principal who shall sign for all materials received.

**MATERIALS, ETC** The materials to be used and work to be done to be similar in all respects to that described for new work insofar as they concur. All work in making good is to be properly jointed to the existing.

Unless otherwise stated, all usable material from the demolitions should be kept safely and handed over to the school governing body or the school principal who shall sign for all material received.

Taking out and removing doors, windows, etc

1	Timber single door 813 x 2032mm high A : 25      B : 2      C : 0	No	27
2	Timber double door 1620X2032mm high A : 2      B : 0      C : 0	No	2
3	Zinc garage door roll up 2100mm x 2450mm high A : 2      B : 0      C : 0	No	2

Taking out and removing sanitary fittings, tanks ,geysers etc

4	Complete WC A : 6      B : 1      C : 0	No	7
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5	Basin A : 8      B : 1      C : 0	No	9
6	Toilet roll holders A : 6      B : 1      C : 0	No	7
7	Taps A : 6      B : 3      C : 0	No	9
<u>Taking down and removing roofs, floors, panelling, ceilings, partitions, etc</u>			
8	Roof tiles covering including timber purlins A : 723      B : 0      C : 0	m2	723
9	Roof trusses size approximately 7500 x 1500mm high complete. A : 70      B : 0      C : 0	No	70
10	Ceilings including branderings and cornices A : 593      B : 25      C : 0	m2	618
11	Fibre cement fascias, barge boards, etc. A : 170      B : 20      C : 0	m	190
<u>Taking up and removing wood block floor coverings, vinyl floor coverings, carpets, etc and preparing screeds for new floor coverings</u>			
12	300 x 300 x 11,5mm Ceramic floor tiles A : 593      B : 25      C : 0	m2	618
13	Skirting A : 530      B : 20      C : 0	m	550
<u>Taking out and removing sundry joinery work, fittings, etc</u>			
14	Kitchen unit 9500mm x 5500mm A : 1      B : 0      C : 0	No	1
<u>Taking out and removing glass and mirrors</u>			
15	Glass from steel windows, including cleaning out rebates and preparing for new glass A : 50      B : 0      C : 0	m2	50

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**SERVICING OF DOORS AND WINDOWS**

16	Replace window stays, handles and pegs (PC Amount R150-00 Vat excl supplied and delivered to site)	No	140
	A : 120      B : 20      C : 0		

17	Remove door striker plate and replace with new (PC Amount R150-00 Vat excl supplied and delivered to site)	No	27
	A : 25      B : 2      C : 0		

**MAKING GOOD OF FINISHES ETC**Making good screed

18	Floors in patches	m2	20
	A : 20      B : 0      C : 0		

Making good internal cement plaster

19	Walls in patches	m2	80
	A : 80      B : 0      C : 0		

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	<b><u>CONCRETE, FORMWORK AND REINFORCEMENT</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>REINFORCED CONCRETE</u></b>			
	<b><u>30 MPa/19mm Concrete</u></b>			
1	Slab A : 14      B : 0      C : 0	m3	14	
2	Surface beds A : 6      B : 0      C : 0	m3	6	
	<b><u>TEST BLOCKS</u></b>			
3	Making and testing a set of three 150 x 150 x 150mm concrete strength test cube (Provisional) A : 3      B : 0      C : 0	No	3	
	<b><u>Finishing top surfaces of concrete smooth with a wood float</u></b>			
4	Surface beds, slabs, etc A : 25      B : 0      C : 0	m2	25	
	<b><u>SMOOTH FORMWORK (DEGREE OF ACCURACY II)</u></b>			
	<b><u>Smooth formwork to sides</u></b>			
5	Edges, risers, ends and reveals not exceeding 300mm high or wide A : 20      B : 0      C : 0	m	20	
	<b><u>Smooth formwork to soffits</u></b>			
6	Slabs propped up exceeding 1,50m and not exceeding 3,50m high A : 25      B : 0      C : 0	m2	25	
	<b><u>REINFORCEMENT</u></b>			
	<b>Carried to Collection</b>			
	Section No. 3 Bill No. 1 Concrete, Formwork & Reinforcement			
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			
				R

**Fabric reinforcement**

7	Ref 395 mesh steel reinforcement in concrete walls, etc	m2	25	
	A : 25      B : 0      C : 0			

**Carried to Collection**

R

Section No. 3

Bill No. 1

Concrete, Formwork & Reinforcement

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Section No. 3

Bill No. 1

Concrete, Formwork & Reinforcement

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Section No. 3

Bill No. 1

Concrete, Formwork & Reinforcement

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Item No	<b><u>SECTION No. 2BILL No. 3</u></b>	Quantity	Rate	Amount
	<b><u>MASONRY</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>SUPPLEMENTARY PREAMBLES</u></b>			
	<b><u>BRICKWORK</u></b>			
	<b><u>Sizes in descriptions</u></b>			
	Where sizes in descriptions are given in brick units, "one brick" shall represent the length and "half brick" the width of a brick			
	<b><u>Face bricks</u></b>			
	Bricks shall be ordered timeously to obtain uniformity in size and colour			
	<b><u>Pointing</u></b>			
	Descriptions of recessed pointing to fair face brickwork and face brickwork shall be deemed to include square recessed, hollow recessed, weathered pointing, etc			
	<b><u>SUPERSTRUCTURE</u></b>			
	<b><u>Brickwork of NFXE bricks (14 MPa nominal compressive strength) in class I mortar in loadbearing walls etc</u></b>			
1	Brick piers A : 3      B : 0      C : 0	m3	3	
2	Half brick wall in beamfilling A : 41      B : 0      C : 0	m2	41	
	<b><u>BRICKWORK SUNDRIES</u></b>			
	<b><u>Brickwork reinforcement</u></b>			
3	150mm Wide reinforcement A : 65      B : 0      C : 0	m	65	
	<b>Carried Forward to Summary of Section No. 3</b>			
	Section No. 3 Bill No. 2 Masonry			R
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

Item No	<b><u>BILL NO. 4</u></b>	Quantity	Rate	Amount
	<p><b><u>WATERPROOFING</u></b></p> <p><b><u>PREAMBLES</u></b></p> <p>For Preambles see "Model Preambles For Trades"</p> <p><b><u>SUPPLEMENTARY PREAMBLES</u></b></p> <p><b><u>Waterproofing</u></b></p> <p>Waterproofing of roofs, basements, etc shall be laid under a ten year guarantee. Waterproofing to roofs shall be laid to even falls to outlets etc with necessary ridges, hips and valleys. Descriptions of sheet or membrane waterproofing shall be deemed to include additional labour to turn-ups and turn-downs</p> <p>Waterproofing to roofs shall be laid to even falls to outlets etc with necessary ridges, hips and valleys. Descriptions of sheet or membrane waterproofing shall be deemed to include additional labour to turn - ups and turn - downs</p> <p><b><u>JOINT SEALANTS ETC</u></b></p> <p><b><u>Two-part grey polysulphide sealing compound including backing cord, bond breaker, primer, etc</u></b></p>			
1	<p>10 x 15mm In expansion joints in floors including raking out expansion joint filler as necessary as 5/30</p> <p>A : 90      B : 0      C : 0</p>	m	90	
	<p><b>Carried Forward to Summary of Section No. 3</b></p>			R
	<p>Section No. 3            Bill No. 3            Waterproofing  <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b></p>			

Item No		Quantity	Rate	Amount
	<b><u>SECTION No. 2BILL No. 5</u></b>			
	<b><u>ROOF COVERING</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>PROFILED METAL SHEETING AND ACCESSORIES</u></b>			
	<b><u>0,6mm "Brownbuilt Kliplock" steel sheet in single lengths fixed to steel rails and 900mm centres embossed galvanised sheet steel accessories</u></b>			
1	Roof covering with 25 degrees pitch A : 723 B : 0 C : 0	m2	723	
2	Ridge capping 550mm girth A : 70 B : 0 C : 0	m	70	
3	Valley cappings 550mm girth A : 18 B : 0 C : 0	m	18	
4	Hip capping 550mm girth A : 27 B : 0 C : 0	m	27	
	<b><u>SHEET METAL FLASHINGS, LININGS, COPINGS, ETC</u></b>			
	<b><u>0,6mm Galvanised sheet iron</u></b>			
5	Flashings A : 1 B : 0 C : 0	m2	1	
	<b><u>ROOF AND WALL INSULATION</u></b>			
	<b><u>"Sisalation 410" housing grade glass fibre reinforced aluminium foil bonded insulation</u></b>			
6	Insulation laid taut over purlins (at approximately 1,20mm centres) and fixed concurrent with roof covering including galvanised steel straining wires A : 723 B : 0 C : 0	m2	723	
	<b>Carried Forward to Summary of Section No. 3</b>			
	Section No. 3 Bill No. 4 Roofwork			R
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

Item No	Quantity	Rate	Amount
<b><u>SECTION No. 2BILL No. 6</u></b>			
<b><u>CARPENTRY AND JOINERY</u></b>			
<b><u>PREAMBLES</u></b>			
For Preambles see "Model Preambles For Trades"			
<b><u>ROOFS ETC</u></b>			
<b><u>Plate nailed timber roof truss construction</u></b>			
The following is applicable in respect of roof trusses:			
<p>Trusses are at maximum 760mm centres                      Roof covering is Double Roman Concrete Tiles                      on 38 x 38mm battens on Ceilings are 4mm Fibre                      Cement board ceiling The references given in the                      descriptions are to the respective types of trusses                      detailed on the architect's drawings numbered annexed                      to these bills of quantities/accompanying these bills of                      quantities for tender purposes                      The dimensions in the descriptions of the trusses are                      nominal and actual measurements are to be obtained                      from the architect and/or the site before design or                      fabrication commences</p>			
<b><u>ROOFS, ETC</u></b>			
<b><u>Sawn softwood</u></b>			
1	Item		
Roof construction to double pitched roof with three hipped ends and one valley, 14.04 x 6.96m overall on plan x 1251mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)			
2	Item		
Roof construction to double pitched roof one valley ends, 14.15 x 10.19m overall on plan x 1846mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)			
<b>Carried to Collection</b>			R
Section No. 3 Bill No. 5 Carpentry <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE                      FOR DEPARTMENT OF COGHSTA</b>			

3	Roof construction to double pitched roof with one valley ends, 13.92 x 10.19m overall on plan x 1846mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)			
4	Roof construction to double pitched roof with gable ends, 9.97 x 6.96m overall on plan x 1251mm high overall, including trusses, jack rafters, permanent bracing and 50 x 76mm purlins at 1000mm centres for roof covering (wall plates elsewhere)	No	1	
	A : 1      B : 0      C : 0			
	<b><u>Wrought laminated Saligna</u></b>			
5	50 x 150mm Bolted beams, pergola beams, etc	m	4	
	A : 4      B : 0      C : 0			
	<b><u>FACIAS, BARGE BOARDS, ETC:</u></b>			
6	12 x 225 mm Fibre cement barge board drilled and brass screwed and including steel jointing strips between lengths.	m	190	
	A : 170      B : 20      C : 0			
	<b><u>DOORS</u></b>			
	NOTE All framed and ledged batten doors and combination doors, where battens are utilised, shall only be of construction acceptable SABS, i.e. mortice and tenon where the tenon is exposed on the outside edges of styles and where the tenon is wedged to form a dovetailed shape			
	<b><u>44mm Wrought meranti framed, ledged, braced and battened door of 44 x 150mm top rails and stiles, 22 x 150mm middle legde and braces and 22 x 220mm bottom rail filled in with 22mm V-jointed one side boarding</u></b>			
7	Door size 813 x 2032mm high with standard weather bar	No	17	
	A : 16      B : 1      C : 0			
8	Door size 914 x 2032mm high	No	8	
	A : 7      B : 1      C : 0			
	<b>Carried to Collection</b>			
	Section No. 3 Bill No. 5 Carpentry			
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

R



9 Double door size 1613 x 2032mm high with equal leaves and rebated meeting stiles and incl. weatherboard

A : 2      B : 0      C : 0

No

2

**BUDGETARY ALLOWANCES**

10 Provide the sum of R 30 000-00 (Thirty thousand Rand) for the 2x Sectional Overhead Sliding Meranti Single Garage Door installed complete.

Item

30 000.00

**Carried to Collection**

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Section No. 3  
Bill No. 5  
Carpentry

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
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Carpentry

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Bill No. 5

Carpentry

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Item No	<b><u>SECTION No. 2BILL No. 7</u></b>	Quantity	Rate	Amount
	<b><u>CEILING, PARTITIONS AND ACCESS FLOORING</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>SUPPLEMENTARY PREAMBLES</u></b>			
	<b><u>Descriptions:</u></b>			
	Items described as "nailed" shall be deemed to be fixed with hardened steel nails or pins or shot pinned to brickwork or concrete			
	Items described as "plugged" shall be deemed to include screwing to fibre, plastic or metal plugs at not exceeding 600mm centres, and where described as "bolted" the bolts have been given elsewhere			
	<b><u>CEILING ETC</u></b>			
	<b><u>NAILED UP CEILING</u></b>			
	<b><u>12,5mm "Rhino" gypsum plasterboard with taped and skimmed joints finished with one coat rhinolite plaster</u></b>			
1	Ceilings including 38 x 38mm sawn softwood bandering at 350mm centres A : 593      B : 25      C : 0	m2	618	
2	Extra over ceiling for opening of 650 x 650mm trap door complete with trimmers, frame,etc A : 5      B : 1      C : 0	No	6	
	<b><u>Cornices</u></b>			
3	50 mm Fibre cement coved cornice planted on including mitres, etc. A : 485      B : 20      C : 0	m	505	
	<b><u>Aerolite insulation</u></b>			
4	50mm Thick insulation laid on ceiling boards A : 593      B : 25      C : 0	m2	618	
	<b>Carried Forward to Summary of Section No. 3</b>			
	Section No. 3 Bill No. 6 Ceilings, partitions and Access Flooring			R
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

Item No	<b><u>IRONMONGERY</u></b>	Quantity	Rate	Amount
	<p><b><u>PREAMBLES</u></b></p> <p>For Preambles see "Model Preambles For Trades"</p> <p><b><u>SUPPLEMENTARY PREAMBLES</u></b></p> <p>Items, materials or methods to be used specified by trade names or catalogue numbers are only an indication of the quality required. Items, materials or methods of similar quality may be used with prior approval from the architect</p> <p><b><u>Finishes to ironmongery</u></b></p> <p>Where applicable finishes to ironmongery are indicated by suffixes in accordance with the following list                      BS Satin bronze lacquered                      CH Chromium plated                      SC Satin chromium plated                      SE Silver enamelled                      GE Grey enamelled                      AS Anodised silver                      AB Anodised bronze                      AG Anodised gold                      ABL Anodised black                      PB Polished brass                      PL Polished and lacquered                      PT Epoxy coated                      SD Sanded</p> <p><b><u>Fixing</u></b></p> <p>Items described as "plugged" shall be deemed to include screwing to fibre, plastic or metal plugs in brickwork or concrete</p> <p><b><u>References</u></b></p> <p>References in brackets at the end of descriptions refer to the Architect's schedules</p> <p><b><u>LOCKS</u></b></p> <p><b><u>"Union"</u></b></p>			
1	<p>Three lever double cylinder lockset code 2222 or similar with Gower Handel code CZ682-05 SC complete with striking plate fixed to metal</p> <p>A : 25      B : 2      C : 0</p>	No	27	
2	<p>Four-lever lockset with striking plate fixed to metal</p> <p>A : 25      B : 2      C : 0</p>	No	27	
	<b>Carried to Collection</b>			R
	<p>Section No. 3                      Bill No. 7                      Ironmongery  <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b></p>			

3	DMWS-SS-008 or similar Bathroom /WC small case deadlock A : 7      B : 2      C : 0	No	9
<b><u>LETTERS, NAMEPLATES, ETC</u></b>			
4	DSS4 'Wheelchair' or similiar pictogram on 76mm diameter stainless steel plate A : 2      B : 0      C : 0	No	2
5	DSS2 'Female' or similiar pictogram on 76mm diameter stainless steel plate A : 2      B : 0      C : 0	No	2
6	DSS1 'Male' or similiar pictogram on 76mm diameter stainless steel plate A : 3      B : 0      C : 0	No	3
<b><u>SUNDRIES</u></b>			
<b><u>"Dorma " or similar approved</u></b>			
7	Dorma "CB30" satin chrome lever handle (S/C) A : 25.0      B : 2.0      C : 0.0	Pairs	27.0
8	Dorma "D038R" rebate conversion kit A : 25      B : 2      C : 0	No	27
9	Dorma "DDC056501" 65mm satin nickel double cylinde A : 25      B : 2      C : 0	No	27
10	AL87722AS Hat and coat hook with rubber tip A : 25      B : 2      C : 0	No	27
11	Approved Aluminuim door stop with rubber insert A : 25      B : 2      C : 0	No	27
12	Overhead surface mounted type door closer with aluminium casing A : 25      B : 2      C : 0	No	27
<b><u>"Kimberley Clark" or similar approved</u></b>			
13	Approved stainless steel soap dispenser, top-up system with 800ml capacity fixed against wall in positions as shown on detail layouts and details, all as per manufactureres spec A : 7      B : 1      C : 0	No	8

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Section No. 3  
Bill No. 7  
Ironmongery

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

14	Approved 3 tier toilet paper dispenser fixed against wall as per manufacturers specifications A : 6      B : 1      C : 0	No	7
15	425792 'Kim dry' 650mm towel dispenser rail fixed against wall as per manufacturers spec A : 10      B : 1      C : 0	No	11

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Ironmongery

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

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Ironmongery

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Ironmongery

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Item No	SECTION No. 2BILL No. 11	Quantity	Rate	Amount
	<p><b><u>METALWORK</u></b></p> <p><b><u>PREAMBLES</u></b></p> <p>For Preambles see "Model Preambles For Trades"</p> <p><b><u>SUPPLEMENTARY PREAMBLES</u></b></p> <p><b><u>Descriptions</u></b></p> <p>Descriptions of bolts shall be deemed to include nuts and washers</p> <p>Descriptions of expansion anchors and bolts and chemical anchors and bolts shall be deemed to include nuts, washers and mortices in brickwork or concrete</p> <p>Metalwork described as "bolted" shall be deemed to exclude the bolts unless otherwise described</p> <p><b><u>Hot-dipped double spelter galvanised mild steel grab rails formed of 32mm outside diameter x 1.6mm round section rails and 75mm diameter x 3mm flat section fixing flanges each three times holed and bolted to walls with M8 x 50mm expansion bolts</u></b></p>			
1	<p>32mm Grab rail 700mm long with two 80mm return ends bolted</p> <p style="padding-left: 40px;">A : 4      B : 0      C : 0</p>	No	4	
	<p><b><u>PRESSED STEEL GATES</u></b></p> <p><b><u>The following in framed and welded mild steel security gates and fixing in position complete</u></b></p>			
2	<p>2100 x 900mm Steel gate comprising of 75 x 50 x 2mm square tubing outer frame and 20 x 20mm square tubing verticals at 120mm centres</p> <p style="padding-left: 40px;">A : 13      B : 0      C : 0</p>	No	13	
	<p><b><u>STEEL RECORDROOM AND STRONGROOM DOORS, VENTILATORS, ETC</u></b></p>			
	<p>Carried to Collection</p>			R
	<p>Section No. 3            Bill No. 8            Metalwork</p> <p><b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b></p>			



**"Mutual" strongroom doors etc suitable for 230mm walls fixed to brickwork or concrete**

3	"Mutual DS3 CAT2" strongroom door and frame 775 x 1875mm high overall with a mass of 380kg A : 2      B : 0      C : 0	No	2
---	---	----	---

**STEEL WINDOWS, DOORS, ETC**

**Standard residential windows with 10mm square burglar bars to fixed lights and opening sashes**

4	Window type NE1, 533 x 654mm high A : 13      B : 0      C : 0	No	13
5	Window type ND4, 1511 x 1245mm high A : 20      B : 0      C : 0	No	20
6	Window type NE8, 1022 x 654mm high A : 6      B : 0      C : 0	No	6
7	Window type NG2, 1022 x 359mm high A : 6      B : 0      C : 0	No	6

**Carried to Collection**

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Section No. 3  
Bill No. 8  
Metalwork

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Section No. 3

Bill No. 8

Metalwork

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Bill No. 8

Metalwork

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Item No	SECTION No. 2BILL No. 13	Quantity	Rate	Amount
	<b><u>TILING</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>SUPPLEMENTARY PREAMBLES</u></b>			
	Unless described as "fixed with adhesive to plaster (plaster elsewhere)" descriptions of tiling on brick or concrete walls columns, etc shall be deemed to include 1:4 cement plaster backing and descriptions of tiling on concrete floors etc shall be deemed to include 1:3 plaster bedding			
	<b><u>WALL TILING</u></b>			
	<b><u>198 x 198 x 6mm White glazed ceramic wall tiles fixed with an approved tile adhesive to plaster (elsewhere measured) and jointed with waterproofing coloured jointing compound</u></b>			
1	On vertical surfaces A : 245      B : 30      C : 0	m2	275	
	<b><u>FLOOR TILING</u></b>			
	<b><u>Approved 600 x 600mm bodied Porcelain floor tiles (PC Amount of R200-00 excluding VAT) fixed on 25mm screed (elsewhere measured ) flush pointed with tinted waterproof jointing compound and approved adhesive</u></b>			
2	On floors and landings A : 593      B : 25      C : 0	m2	618	
3	Skirting 75mm high (of cut tiles) A : 530      B : 20      C : 0	m	550	
	<b>Carried Forward to Summary of Section No. 3</b>			
	Section No. 3 Bill No. 9 Tiling			
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			
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Item No	SECTION No. 2BILL No. 14	Quantity	Rate	Amount
	<b><u>PLUMBING AND DRAINAGE (PROVISIONAL)</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>RAINWATER DISPOSAL</u></b>			
	<b><u>0.6mm Galvanised sheet steel gutters and rainwater pipes with powder coated finish on outside.</u></b>			
1	100 x 75mm Rainwater pipes A : 30 B : 12 C : 0	m	42	
2	Extra over gutter for stopped end A : 170 B : 20 C : 0	No	190	
3	Extra over gutter for angle A : 6 B : 0 C : 0	No	6	
4	Extra over gutter for outlet for 75 x 75mm pipe A : 13 B : 0 C : 0	No	13	
5	75 x 75mm gutters fixed to walls, etc A : 36 B : 0 C : 0	m	36	
6	Extra over rainwater pipe for bend A : 26 B : 0 C : 0	No	26	
7	Extra over rainwater pipe for eaves or plinth offset A : 13 B : 0 C : 0	No	13	
8	Extra over rainwater pipes for shoe A : 13 B : 0 C : 0	No	13	
	<b><u>SANITARY FITTINGS</u></b>			
	<b>Carried to Collection</b>			R
	Section No. 3 Bill No. 10 Plumbing and Drainage (Provisional) <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

**'Vaal' or equally approved**

9	635 x 485mm "Lotus" White vitreous china basin (code 7026) with three semi-punched tap holes and 301 slotted waste with plug and chain, with intergrated overflow mounted using universal half pedestal and hanger mechanism (code 715221)	No	12
	A : 11      B : 1      C : 0		

**'Vaal' or equally approved**

10	"Concorde" White vitreous china close coupled WC suite comprising 90 degrees outlet closed rim washdown pan (product code 7727700) and matching 9 litre top dual flush cistern (product code 7104DT) complete with lid, fitments and purpose made wooden seat (Code 852720)	No	7
	A : 6      B : 1      C : 0		

11	"Protea" Paraplegic white vitreous china floor mounted paraplegic WC pan (product code 750200) comprising 90 degrees outlet pan (product code 750200) and matching 9 litre cistern (product code 710631) including lid, fitment and purpose made chrome plated side flush lever	No	2
	A : 2      B : 0      C : 0		

**'Vaal' or equally approved**

12	Approved flat back wall mounted bowl urinla fixed with matching brackets, one C.P. flush valve complete with flush pipes as required and one approved C.P. plated bottle trap	No	2
	A : 2      B : 0      C : 0		

**'Franke' sink or equally approved**

13	Approved 535 x 455mm Type 304 Stainless steel drop sink with 100mm splash back, grid, etc on 25 x 25mm brackets all as supplied by manufacturers installed 500 mm F.F.L, one 20mm C.P hose bib cock 1000mm F.F.L, one 40mm diameter C.P outlet an one 40mm diameter C.P bottle trap	No	2
	A : 1      B : 1      C : 0		

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Section No. 3

Bill No. 10

Plumbing and Drainage (Provisional)

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

14	Double bowl 1200 x 535mm Type 304 stainless steel inlay type fixed onto kitchen unit, one approved C.P mixer, one 40mm diameter C.P outlet and one approved 40mm diameter C.P. bottle trap A : 1      B : 1      C : 0	No	2
<b><u>WASTE UNIONS</u></b>			
<b><u>Cobra Watertech</u></b>			
15	40mm 316 CP sink waste union A : 2      B : 1      C : 0	No	3
<b><u>TRAPS ETC</u></b>			
<b><u>Traps, etc. including joints to steel pipes and/or fittings unless otherwise described</u></b>			
16	40mm Deep seal "P" or "S" trap A : 12      B : 2      C : 0	No	14
<b><u>Chromium plated</u></b>			
17	Flexible connectors, etc. A : 12      B : 2      C : 0	No	14
<b><u>TAPS, VALVES, ETC</u></b>			
<b><u>Cobra Watertech or equally approved</u></b>			
18	15mm Chromium sink mixer (Code 266/04/10) A : 2      B : 1      C : 0	No	3
19	Round & Square Design Chrome Basin mixer A : 11      B : 1      C : 0	No	12
<b><u>BUDGETARY ALLOWANCES</u></b>			
20	Provide the sum of R 80 000.00 (Eighty Thousand Rand) for the construction of a Septic Tank and French Drain		Item
<b><u>ELECTRIC WATER HEATERS</u></b>			
21	100 Litre horizontal wall mounted electric water heater A : 1      B : 0      C : 0	No	1

Carried to Collection

R

Section No. 3

Bill No. 10

Plumbing and Drainage (Provisional)

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

Section No. 3

Bill No. 10

Plumbing and Drainage (Provisional)

**COLLECTION**

Total Brought Forward from Page No.

**Page  
No**

**Amount**

52

53

54

**Carried Forward to Summary of Section No. 3**

R

Section No. 3

Bill No. 10

Plumbing and Drainage (Provisional)

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Item No	<b><u>SECTION No. 2BILL No. 15</u></b>	Quantity	Rate	Amount
	<b><u>GLAZING</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>GLAZING TO STEEL WITH PUTTY</u></b>			
	<b><u>4mm Clear float glass</u></b>			
1	Panes exceeding 0,1m <sup>2</sup> and not exceeding 0,5m <sup>2</sup> A : 30      B : 0      C : 0	m2	30	
	<b><u>4mm obscure glass</u></b>			
2	Panes exceeding 0,1m <sup>2</sup> and not exceeding 0,5m <sup>2</sup> A : 20      B : 0      C : 0	m2	20	
	<b><u>MIRRORS, SHELVES, ETC</u></b>			
	<b><u>6 mm Silvered float glass copper backed mirrors</u></b>			
3	600 x 450 x 6mm Thick SABS Approved mirror with building paper at back fixed against wall with four C.P. capped mirror screens in position as shown on detail layout A : 11      B : 0      C : 0	No	11	
	<b>Carried Forward to Summary of Section No. 3</b>			
	Section No. 3 Bill No. 11 Glazing			R
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			



Item No	<b><u>SECTION No. 2BILL No. 16</u></b>	Quantity	Rate	Amount
	<b><u>PAINTWORK</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>ON FLOATED PLASTER</u></b>			
	<b><u>Prepare, stop and apply one coat alkali resistant primer, one coat universal undercoat and two full coats eggshell enamel paint</u></b>			
1	On internal plastered walls A : 750      B : 65      C : 0	m2	815	
2	On external plastered walls A : 0.0      B : 0.0      C : 0.0	m2		
	<b><u>ON PLASTER BOARD</u></b>			
	<b><u>One coat primer and two coats interior quality PVA emulsion paint</u></b>			
3	On ceilings and cornices A : 593      B : 25      C : 0	m2	618	
	<b><u>ON FIBRE CEMENT</u></b>			
	<b><u>One coat primer and two coats exterior quality PVA emulsion paint</u></b>			
	On fascias and barge boards A : 170      B : 20      C : 0	m2	190	
	<b><u>ON METAL</u></b>			
	<b><u>One primer, one undercoat and two coats alkyd enamel paint on steel</u></b>			
4	On grille gates and screens (both sides measured on flat) A : 50      B : 0      C : 0	m2	50	
5	On corrugated iron roof sheet A : 50      B : 0      C : 0	m2	50	
	<b>Carried to Collection</b>			
	Section No. 3 Bill No. 12 Paintwork			
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			
				R

6	On steel palisade fence A : 320      B : 0      C : 0	m2	320
<b><u>One coat undercoat and two coats polyurethane enamel. Sandpaper lightly between coats. Colour to be determined on site</u></b>			
7	On windows with burglar bars A : 200      B : 20      C : 0	m2	220
8	On door frames A : 65      B : 5      C : 0	m2	70
<b><u>ON WOOD</u></b>			
<b><u>Three coats polyurethane suede varnish</u></b>			
9	On doors A : 115      B : 8      C : 0	m2	123

Carried to Collection

R

Section No. 3  
Bill No. 12  
Paintwork

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

Section No. 3

Bill No. 12

Paintwork

**COLLECTION**

Total Brought Forward from Page No.

**Page  
No**

57

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**Amount**

**Carried Forward to Summary of Section No. 3**

R

Section No. 3

Bill No. 12

Paintwork

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**

**SECTION SUMMARY - BUILDING WORK**

Bill No		Page No	Amount
1	Concrete, Formwork & Reinforcement	35	
2	Masonry	36	
3	Waterproofing	37	
4	Roofwork	38	
5	Carpentry	42	
6	Ceilings, partitions and Access Flooring	43	
7	Ironmongery	47	
8	Metalwork	50	
9	Tiling	51	
10	Plumbing and Drainage (Provisional)	55	
11	Glazing	56	
12	Paintwork	59	
<b>Carried to Final Summary</b>			R
Section No. 3 <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE                      FOR DEPARTMENT OF COGHSTA</b>			

Item No	<b><u>SECTION No. 4</u></b>	Unit	Quantity	Rate	Amount
	<b><u>BILL NO. 1</u></b>				
	<b><u>PROVISIONAL SUMS</u></b>				
	<b><u>PREAMBLES</u></b>				
	For Preambles see "Model Preambles For Trades"				
	<b><u>ELECTRICAL WORKS</u></b>				
1	Provide the sum of R 580 000.00 (five hundred and eighty thousand Rand) for the supply and installation of Electrical Works		Item		580 000.00
2	Add for profit upon above, if required.		Item		
3	Add for attendance		Item		
	<b><u>MECHANICAL WORKS</u></b>				
4	Provide the sum of R 650 000 (Six hundred Fifty thousand rand) for the supply and installation of Mechanical Works		Item		650 000.00
5	Add for profit upon above, if required.		Item		
6	Add for attendance		Item		
	<b><u>BORE HOLE</u></b>				
7	Provide the sum of R 200 000.00 (Two Hundred Thousand rand) for the drilling of a Bore Hole including equipping, supply and installation of 2x 5000 litre "Jojo" or equally approved Tank and 2x 6m "Jojo" or equally approved Steel Stand including pipe connection to the building and a pressure pump.		Item		200 000.00
8	Add for profit upon above, if required.		Item		
9	Add for attendance		Item		
	<b>Carried to Collection</b>				
	Section No. 4				
	Bill No. 1				
	PROVISIONAL SUMS				
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>				
				R	

**JOINERY FITTINGS**

10	Provide the sum of R 150 000-00 (One hundred Fifty thousand Rand) for the supply, delivery and installation of Joinery Fittings including Granite tops (Kitchen Unit, Basin cupboards, and fixed benches etc) complete.	Item	150 000.00
11	Add for profit upon above, if required.	Item	
12	Add for attendance	Item	

**SIGNAGE**

13	Provide the sum of R 20 000-00 (Twenty thousand rand) for supply and installation signage complete	Item	20 000.00
14	Add for profit upon above, if required.	Item	
15	Add for attendance	Item	

**Weed killing**

16	Provide the sum of R 65 000-00 (Sixty Five thousand rand) for weed killing	Item	65 000.00
17	Add for profit upon above, if required.	Item	
18	Add for attendance	Item	

**OCCUPATIONAL HEALTH AND SAFETY CONSULTANT**

19	Provide the sum of R360 000-00(Three Hundred Sixty Thousand Rand) for Occupational health and safety consultant to be appointed by the Employer	Item	360 000.00
20	Add for profit upon above, if required	Item	
21	Add for attendance	Item	

**SOCIAL FACILITATOR**

22	Provide the sum of R300 000-00(Three Hundred Thousand Rand) for Social Facilitator to be appointed by the Employer	Item	300 000.00
23	Add for profit upon above, if required	Item	
24	Add for attendance	Item	

**Carried to Collection**

R

Section No. 4

Bill No. 1

PROVISIONAL SUMS

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

**COMMUNITY LAISON OFFICER**

25 Provide the sum of R 72 000-00 (Seventy two thousand rand) for remuneration

Item

72 000.00

26 Add for profit upon above, if required

Item

27 Add for attendance

Item

**PROJECT STEERING COMMITTEE**

28 Provide the sum of R 12 000-00 (Twelve thousand Rand) for remuneration

Item

15 000.00

29 Add for profit upon above, if required

Item

30 Add for attendance

Item

**Carried to Collection**

R

Section No. 4

Bill No. 1

PROVISIONAL SUMS

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA**

Section No. 4

Bill No. 1

PROVISIONAL SUMS

**COLLECTION**

Total Brought Forward from Page No.

**Page  
No**

**Amount**

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**Carried to Final Summary**

R

Section No. 4

Bill No. 1

PROVISIONAL SUMS

**REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE  
FOR DEPARTMENT OF COGHSTA**



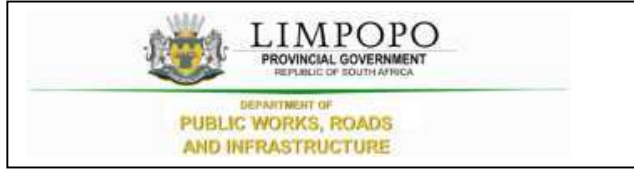
Item No	SECTION No. 3BILL No. 2	Quantity	Rate	Amount
	<b><u>PAVING</u></b>			
	<b><u>PREAMBLES</u></b>			
	For Preambles see "Model Preambles For Trades"			
	<b><u>PRECAST CONCRETE</u></b>			
1	85mm Interlocking concrete paving blocks in accordance with SABS Specification 1058 and laid to falls on sand layer (elsewhere) with joints filled in with sand and vibrated, including all straight cutting A : 200      B : 0      C : 0	m2	200	
	<b>Carried Forward to Summary of Section No. 5</b>			R
	Section No. 5 Bill No. 1 Paving <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

Item No	<b><u>SECTION No. 3BILL No. 3</u></b>	Quantity	Rate	Amount
	<b><u>FENCING AND GATES</u></b>			
	<b><u>SUPPLEMENTARY PREAMBLES</u></b>			
	For Preambles see "Supplementary Model Preambles For Trades"			
	<b><u>Reinforced Precast concrete on gate track, including gate track, finished smooth on exposed surfaces</u></b>			
1	Gate track including concrete over flat terrain 3m long x 0,5m wide A : 6      B : 0      C : 0	m	6	
	<b>Carried Forward to Summary of Section No. 5</b>			R
	Section No. 5 Bill No. 2 Fencing and gates <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>			

**SECTION SUMMARY - EXTERNAL WORKS**

Bill No		Page No	Amount
1	Paving	65	
2	Fencing and gates	66	
<b>Carried to Final Summary</b>			R
Section No. 5 <b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE                      FOR DEPARTMENT OF COGHSTA</b>			

Section No	<u>FINAL SUMMARY</u>	Page No	Amount
1	PRELIMINARIES	27	
2	ALTERATIONS	32	
3	BUILDING WORK	60	
4	PROVISIONAL SUMS	64	
5	EXTERNAL WORKS	67	
	Sub Total 1 - BUILDING COSTS		R
	<b><u>CONTINGENCY SUM</u></b>		
	<u>Contingencies</u>		
	Allow an Amount of R 300 000.00 (Three hundred Thousand Rand) for contingencies to be used as directed by the Project Manager and to be deducted in full if not used.	Item	300 000.00
	Sub total BUILDINGS (VAT excl.)		R
	<u>Value Added Tax</u>		
	Allow for Value Added Tax (15%)		R
	Sub Total (VAT INCL.) CARRIED TO TENDER FORM		R
	<b>CARRIED TO FORM OF TENDER</b>		R
	<b>REFURBISHMENT OF LITHO NDZUDZA TRADITIONAL COUNCIL OFFICE FOR DEPARTMENT OF COGHSTA</b>		



## PART C3 SCOPE OF WORKS

Bidder's initials



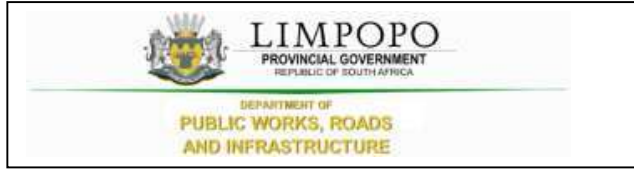
## PART C3.1: SPECIAL NOTES TO BIDDERS

The following special conditions are for compliance and attention to bidders:

- 1.1. LDPWRI reserve the right to call interviews with short-listed bidders before final selection.
- 1.2. LDPWRI reserve the right to conduct supplier due diligence prior to final award or at any time during the contract period. This may include surprise site visits.
- 1.3. LDPWRI reserve the right to appoint the bidder that proves to be fully capable and qualified to handle and execute the job.
- 1.4. The proposals submitted must be in line with the detailed specification.
- 1.5. LDPWRI reserve the right to cancel or withdraw this bid if:
  - i. Due to changed circumstances, there is no longer a need for this services; or
  - ii. Funds are no longer available to cover the total envisaged expenditure; or
  - iii. No acceptable bids are received; or
  - iv. There is a material irregularity in the Bid process.
- 1.6. In the case of sub-contracting or joint venture agreement, LDPWRI will enter into a single contract with the principal bidder.
- 1.7. Bidders who are not registered on Central Supplier Database (CSD) must register before submission of bids.
- 1.8. Any completion of the bid document in pencil or erasable ink will not be acceptable and will automatically disqualify the submitted bid.
- 1.9. Successful bidder will be required to sign and enter into a formal contract upon the award.
- 1.10. Notwithstanding shortcomings and/or inconsistencies, if any, in this specification, which is only a minimum specification, a bidder shall make provision for a complete solution that will deliver the required service efficiently and cost-effectively.
- 1.11. Bid documents must be submitted physically to the closing address as reflected on the Request for Quotations.
- 1.12. Quotations received after the closing date and time will not be accepted for consideration.
- 1.13. This request for bid document contains confidential information about LDPWRI, which has been provided to supply potential bidders with the data necessary to provide a holistic response.
- 1.14. No part of the contents may be used, copied, disclosed or conveyed in whole or in part to any party, in any manner whatsoever without the prior written permission of LDPWRI.
- 1.15. Any reproduction or transmission of information contained in this document except for the sole purpose of responding to this bid is strictly prohibited.

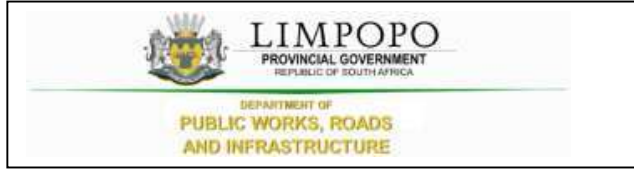
References to LDPWRI must not be made in any literature, promotional material, and brochures or sales presentations without the express written consent of LDPWRI

Bidder's initials



## PART C3.2: OHS SPECIFICATIONS

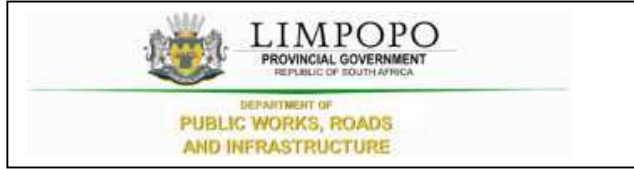
Bidder's initials



## PART C4 SITE INFORMATION

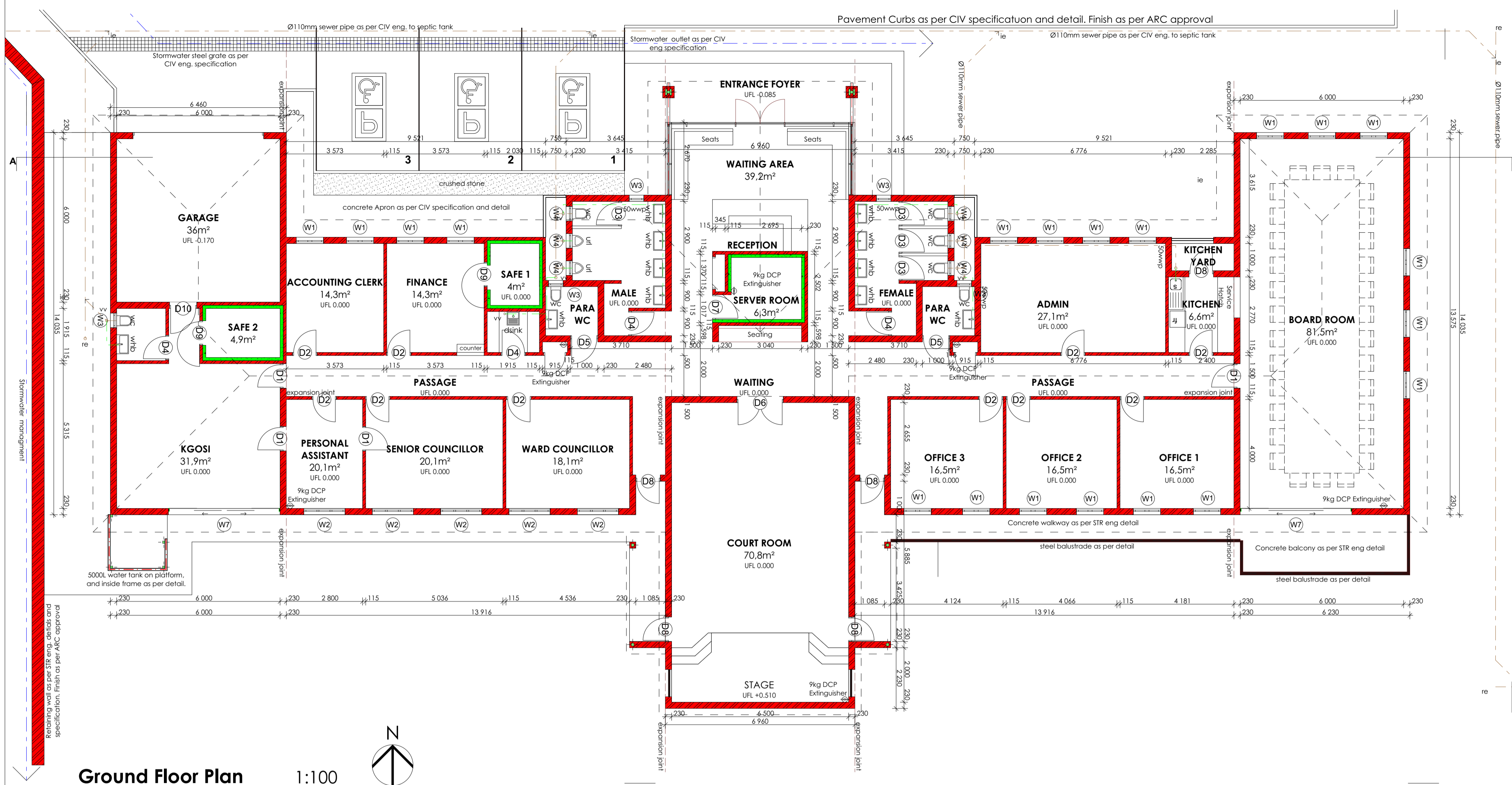
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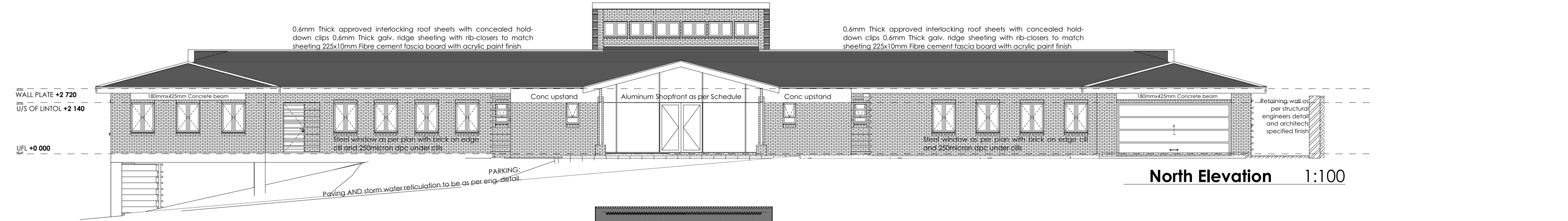
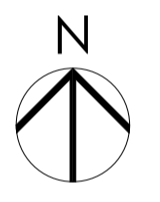


## C4.1 DRAWINGS

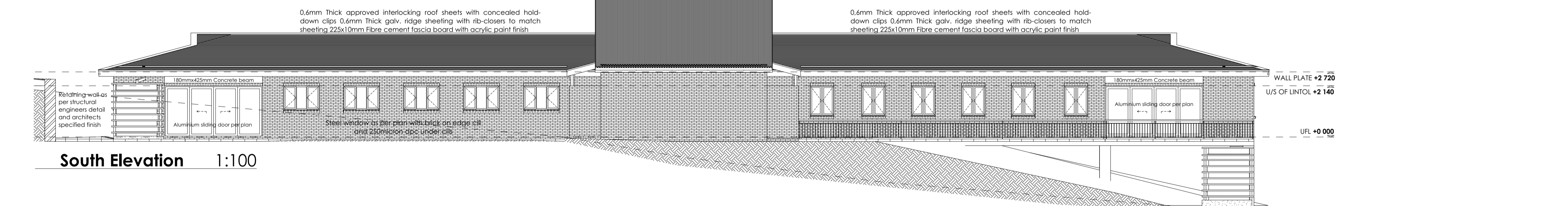
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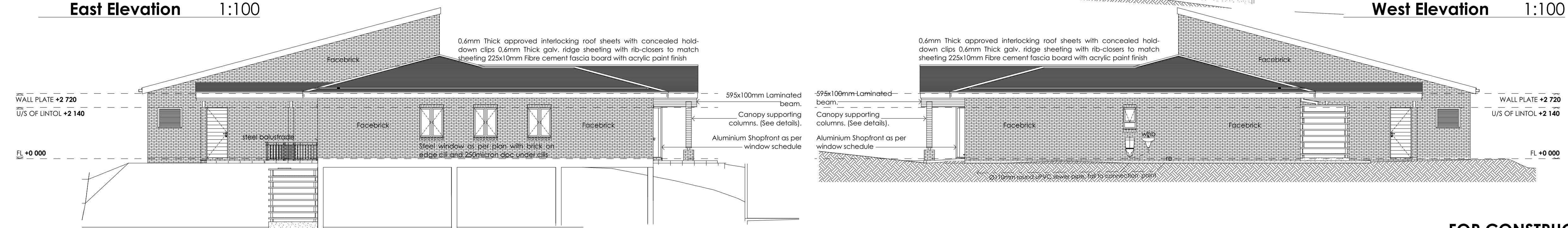
Ground Floor Plan 1:100



North Elevation 1:100



South Elevation 1:100



East Elevation 1:100

West Elevation 1:100

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- GENERAL NOTES**
- All general notes apply to all drawings, details, specifications & any supplementary information: all contractual documentation.
  - The contractor is responsible for checking all levels & dimensions on site when setting out, prior to commencing construction & cross checking all building dimensions during the construction process. Read only figured dimensions, indicated in millimetres, & do not scale. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for the works co-ordination & programming of the works. All consultant & shop drawings are to be cross checked with DPWL drawings. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for reporting any deviation from DPWL drawings & specifications. Written approval is required from edifice design prior to construction & installation commencing.
  - DPWL accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details.
  - The contractor is responsible for compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
  - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
  - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
  - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
  - Drawings are only to be read for the purpose intended.
  - Refer to project data sheet for comprehensive notes & specifications.

**DOOR AND WINDOWS:**  
Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.

**GLAZING:**  
All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1263 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:  
• Shading Coefficient = 0.47 to 0.70  
• Light Transmission Level = 61 to 95

Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:  
• Shading Coefficient = 0.58 to 0.75  
• Light Transmission Level = 59 to 83

**EXTERNAL WORKS:**  
All Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil panning shall be provided under paving in accordance to Engineer's specifications.

**CONCRETE:**  
All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.

**PLASTER:**  
Internal plaster to be 10 to 15mm thick, cement / sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.

**EXPANSION JOINTS:**  
Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated felt-board between 230mm brick walls. To be sealed internally and externally with 10mm deep polysulphide sealant.

**INSULATION:**  
50mm Alutherm AP polyester fibre blanket laminated to 4mm White bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007, laid and stapled horizontally on top of timber rafters and branding before fixing of roof sheeting (elsewhere specified).

REV NO.	DATE	REVISION

**DEPARTMENT**  
  
DEPARTMENT OF  
**PUBLIC WORKS, ROADS & INFRASTRUCTURE**  
Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.  
43 Church Street, Polokwane, 0700  
(015) 284 7000/1

**PROJECT TITLE**  
TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

**DRAWING TITLE**  
OFFICE: PLAN & ELEVATIONS

SCALE	1:100	DRAWN	T.CELE
DATE		CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
A1	LDPWRI B/17020	C	LDPWRI B/17020_100	0

**FOR CONSTRUCTION**

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- GENERAL NOTES**
- All general notes apply to all drawings, details, specifications & any supplementary information: all contractual documentation.
  - The contractor is responsible for checking all levels & dimensions on site when setting out, prior to commencing construction & cross checking all building dimensions during the construction process. Read only figured dimensions, indicated in millimetres, & do not scale. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for the works co-ordination & programming of the works. All consultant & shop drawings are to be cross checked with DPWL drawings. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for reporting any deviation from DPWL drawings & specifications. Written approval is required from edifice design prior to construction & installation commencing.
  - DPWL accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details.
  - The contractor is responsible for compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
  - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
  - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
  - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
  - Drawings are only to be read for the purpose intended.
  - Refer to project data sheet for comprehensive notes & specifications.

**DOOR AND WINDOWS:**  
 Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.

**GLAZING:**  
 All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1263 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.

**Glass Properties:**  
 • Shading Coefficient = 0.47 to 0.70  
 • Light Transmission Level = 61 to 95

Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.

**Glass Properties:**  
 • Shading Coefficient = 0.58 to 0.75  
 • Light Transmission Level = 59 to 83

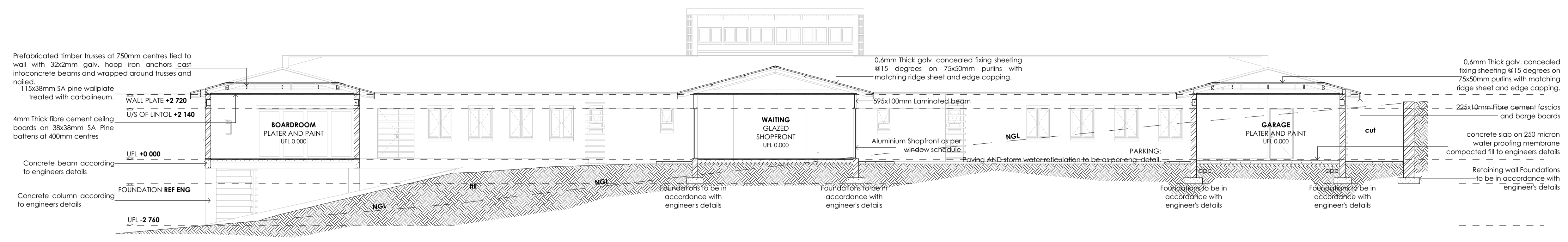
**EXTERNAL WORKS:**  
 ALL Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil piling shall be provided under paving in accordance to Engineer's specifications.

**CONCRETE:**  
 All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.

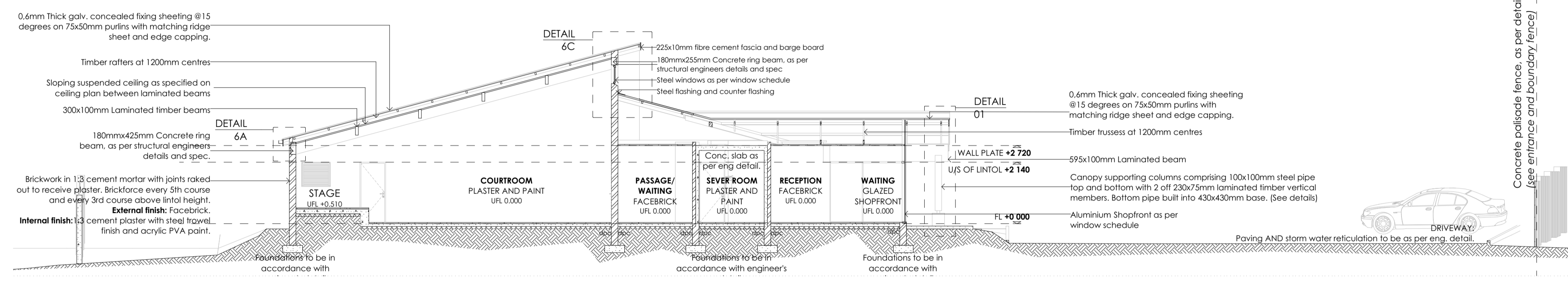
**PLASTER:**  
 Internal plaster to be 10 to 15mm thick, cement / sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.

**EXPANSION JOINTS:**  
 Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated felt-board between 230mm brick walls. To be sealed internally and externally with 10mm deep polysulphide sealant.

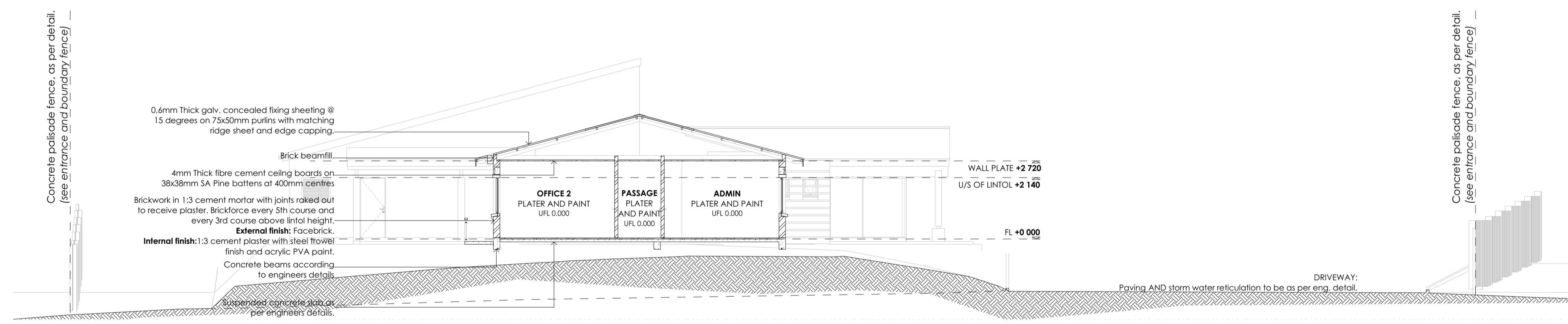
**INSULATION:**  
 50mm Alutherm AP polyester fibre blanket laminated to 4mm white bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007, laid and stapled horizontally on top of timber rafters and branding before fixing of roof sheeting (elsewhere specified).



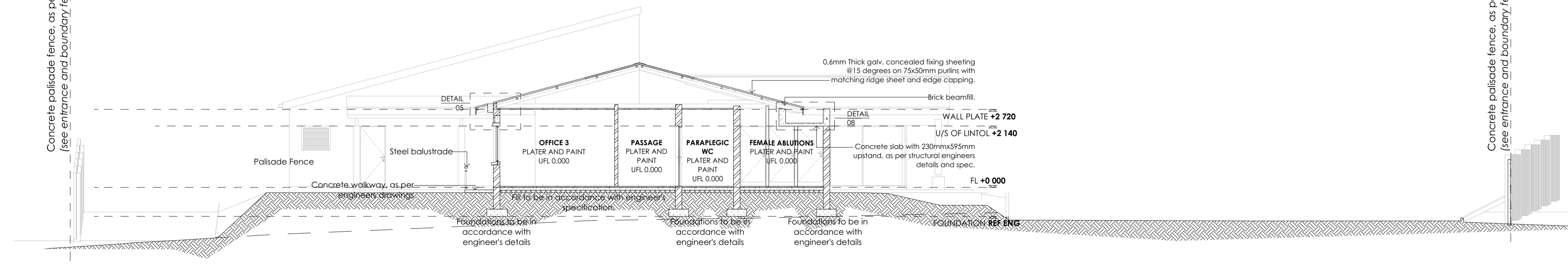
**SECTION A-A 1:100**



**SECTION B-B 1:100**



**SECTION C-C 1:100**



**SECTION D-D 1:100**

REV NO.	DATE	REVISION

**DEPARTMENT**  
  
 DEPARTMENT OF  
**PUBLIC WORKS, ROADS & INFRASTRUCTURE**  
 Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.  
 43 Church Street, Polokwane, 0700  
 (015) 284 7000/1

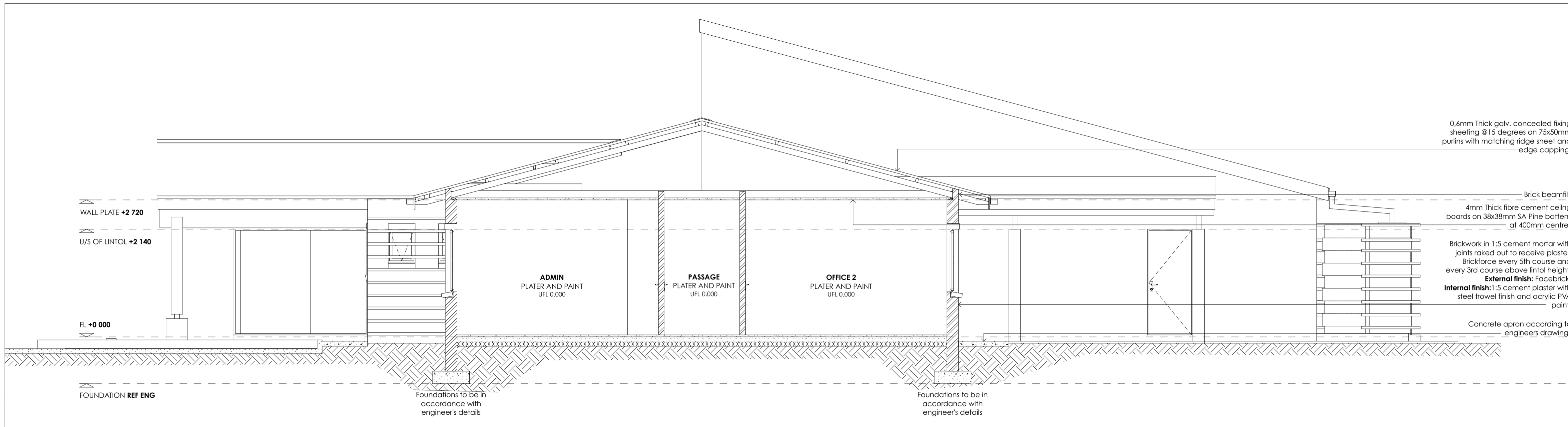
**PROJECT TITLE**  
 TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

**DRAWING TITLE**  
 OFFICE: SECTIONS

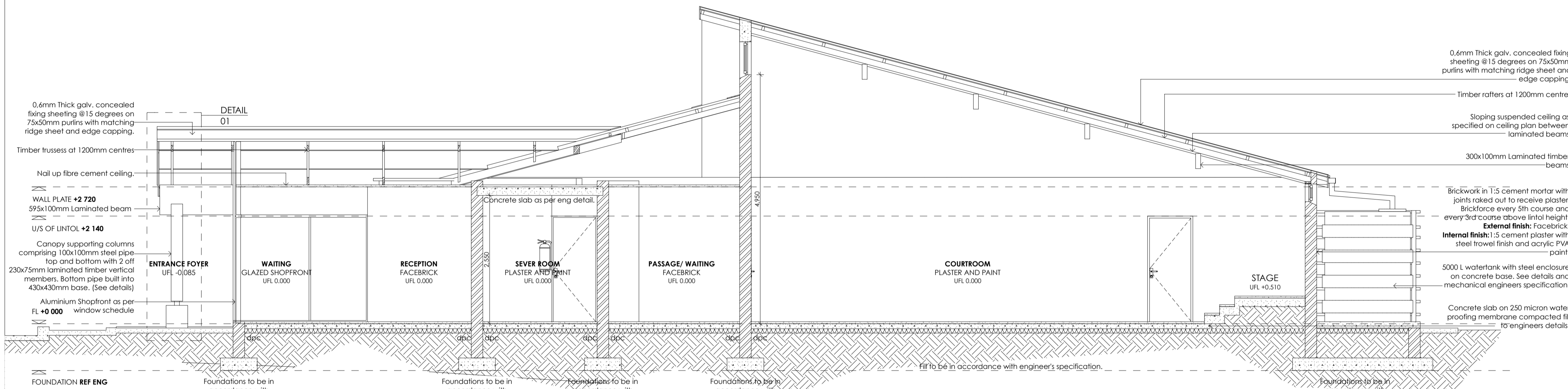
<b>SCALE</b>	1:100	<b>DRAWN</b>	T.CELE
<b>DATE</b>		<b>CHECKED</b>	T.CELE

<b>SIZE</b>	<b>PROJECT NO.</b>	<b>STAGE</b>	<b>DRAWING NO.</b>	<b>REV.</b>
A1	LDPWRI B/17020	C	LDPWRI B/17020_100	0

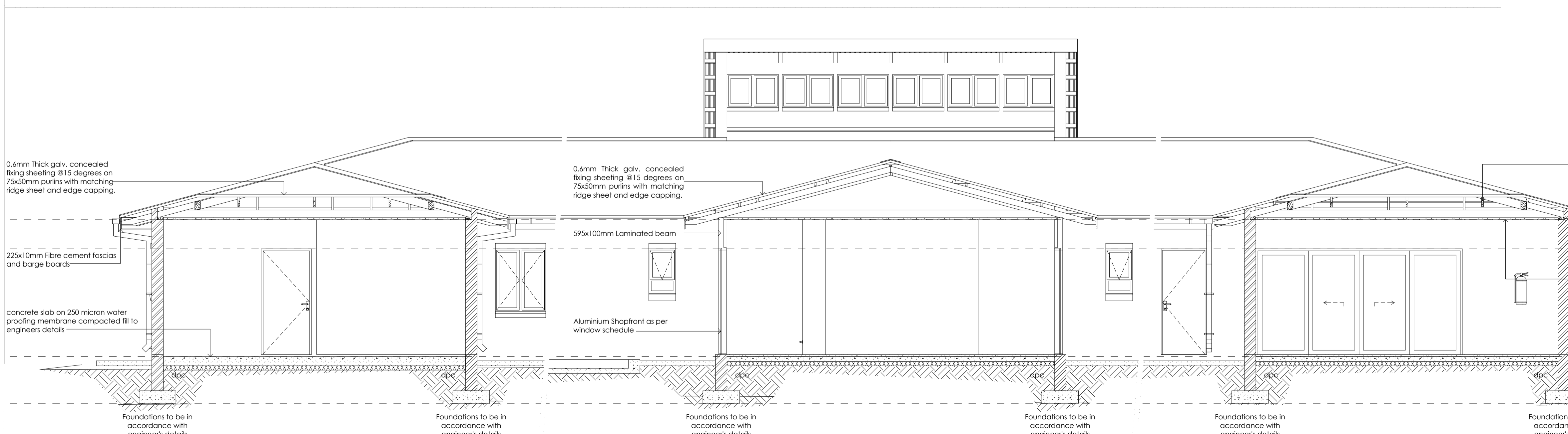
**FOR CONSTRUCTION**



SECTION C-C 1:50



SECTION B-B 1:50



SECTION A-A 1:50

- GENERAL NOTES**
- All general notes apply to all drawings, details, specifications & any supplementary information; all contractual documentation.
  - The contractor is responsible for checking all levels & dimensions on site when setting out, prior to commencing construction & cross checking all building dimensions during the construction process. Read only figured dimensions, indicated in millimetres, & do not scale. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for the works co-ordination & programming of the works. All consultant & shop drawings are to be cross checked with DPWL drawings. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for reporting any deviation from DPWL drawings & specifications. Written approval is required from edifice design prior to construction & installation commencing.
  - DPWL accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details.
  - The contractor is responsible for: compliance with all applicable SABS 0400 standards, manufacturer's installation instructions, procedures & recommendations & local authority regulations in respect of the full scope of the works. This requirement shall not be deemed to be superseded by the provisions of any other contract document.
  - The contractor is responsible for construction procedures & methodology being carried out & implemented in strict accordance with the latest occupational health & safety act & regulations.
  - The contractor is responsible for checking all opening sizes & vertical & horizontal position prior to the construction, manufacture & installation of fitted items. Any discrepancies are to be reported in writing to DPWL prior to continuation of work.
  - The contractor is responsible for the provision of guarantees for all materials, installations & systems, to be issued to DPWL at practical completion.
  - All structural work is to be designed, detailed, specified & supervised by the structural engineer & is to be carried out in strict accordance with this. All structural work is to be built from the engineer's drawings and the stability is to be certified by the structural engineer on completion of the works.
  - Drawings are only to be read for the purpose intended.
  - Refer to project data sheet for comprehensive notes & specifications.

**DOOR AND WINDOWS:**  
All external doors and windows to have aluminium frames as per SABS specifications. Internal doors to be flush panel semi-solid with hardwood frames provided with one pair 100mm brass butt hinges and lock set. Windows glazing to be in accordance with NBR. Bathroom and WC windows to be obscure.

**GLAZING:**  
All Glazing unless specified Clear laminated sound control safety glass, complying with SANS 1263 Part 1, 2 or 3 with name of the manufacturer permanently marked on each sheet visible after glazing, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:  
• Shading Coefficient = 0.47 to 0.70  
• Light Transmission Level = 61 to 95

Specified: Obscure glazed unit, glazed in accordance with NBR N schedule 1 and SABS 0137.

Glass Properties:  
• Shading Coefficient = 0.58 to 0.75  
• Light Transmission Level = 59 to 83

**EXTERNAL WORKS:**  
ALL Paving to be laid on well compacted AND consolidated ground to engineer's detail. Soil poisoning shall be provided under paving in accordance to Engineer's specifications.

**CONCRETE:**  
All proposed and existing concrete works, paving AND storm water reticulation to be specified, verified and approved by engineer.

**PLASTER:**  
Internal plaster to be 10 to 15mm thick, cement /sand ratio of 1:5 plaster sealed, 1 undercoat, 2 coats 'wall n all' paint. Colour to be approved.

**EXPANSION JOINTS:**  
Expansion (control) joints where deemed necessary by engineer to be formed with a continuous strip of 12mm bitumen impregnated soft-board between 230mm brick walls. To be sealed internally and externally with 10mm deep polysulphide sealant.

**INSULATION:**  
50mm Alutherm AP polyester fibre blanket laminated to 4mm white bubble layer on one side and reinforced foil facing on other, complying with SANS 1381-1:2007, laid and stapled horizontally on top of timber rafters and branding before fixing of roof sheeting (elsewhere specified).

Prefabricated timber trusses at 750mm centres tied to wall with 32x2mm galv. hoop iron anchors cast into concrete beams and wrapped around trusses and nailed.

115x38mm SA pine wallplate treated with carbolineum.

4mm Thick fibre cement ceiling boards on 38x38mm SA Pine battens at 400mm centres

Concrete apron according to engineers drawings

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REV NO.	DATE	REVISION

**DEPARTMENT**  
  
 DEPARTMENT OF  
**PUBLIC WORKS, ROADS & INFRASTRUCTURE**  
 Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub.  
 43 Church Street, Polokwane, 0700  
 (015) 284 7000/1

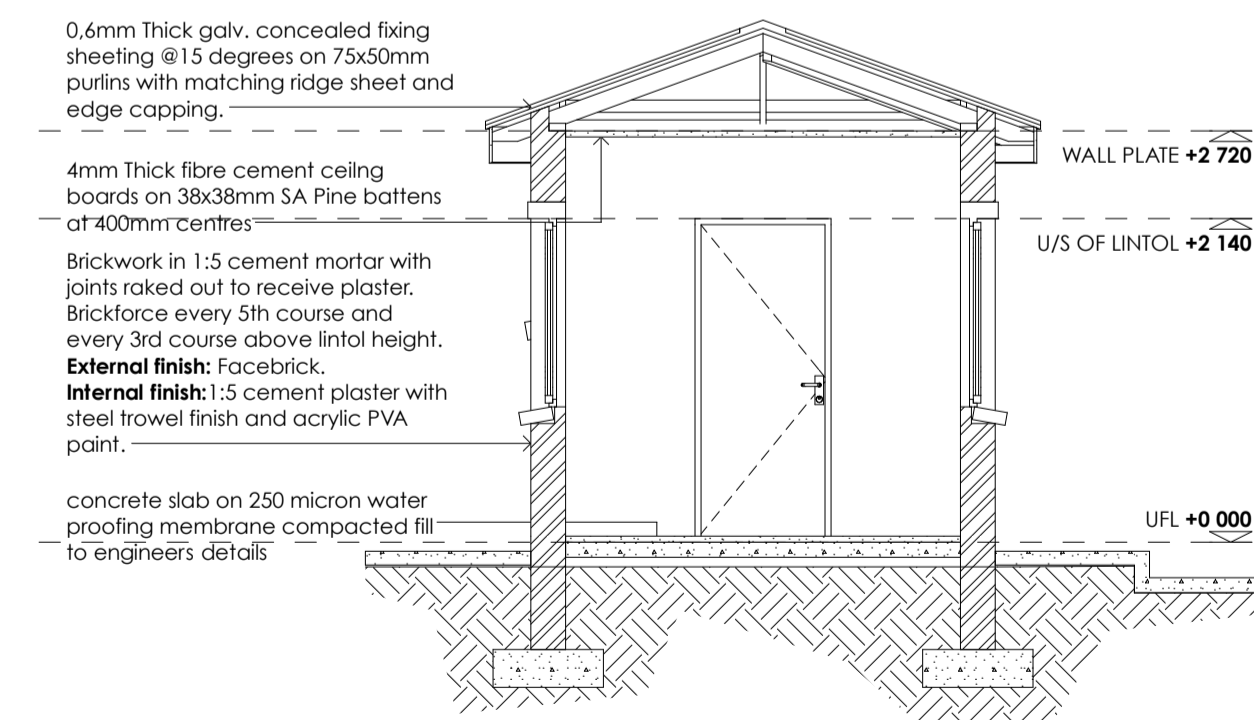
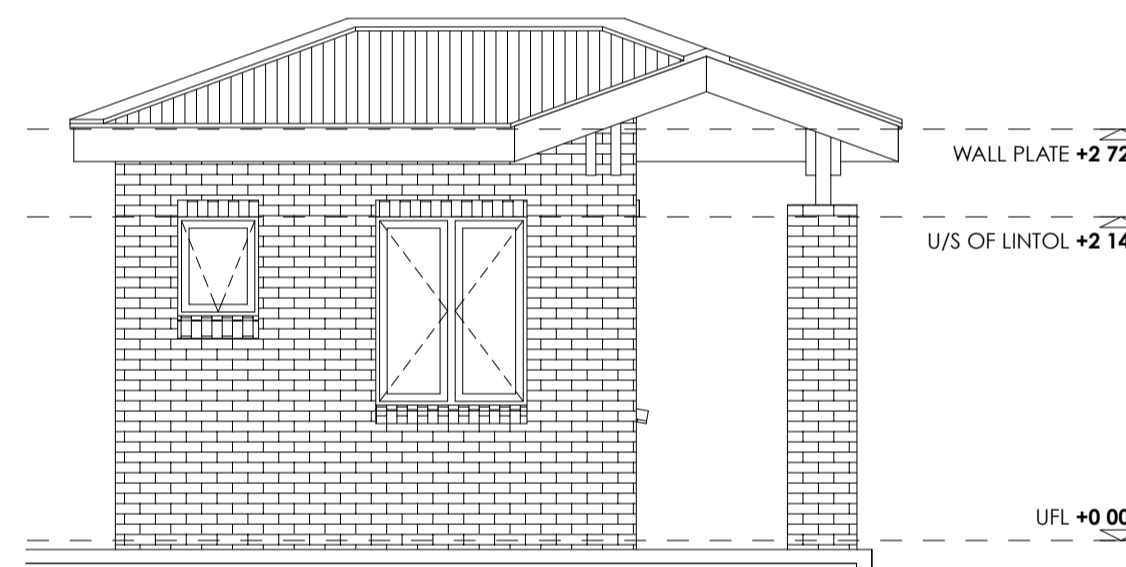
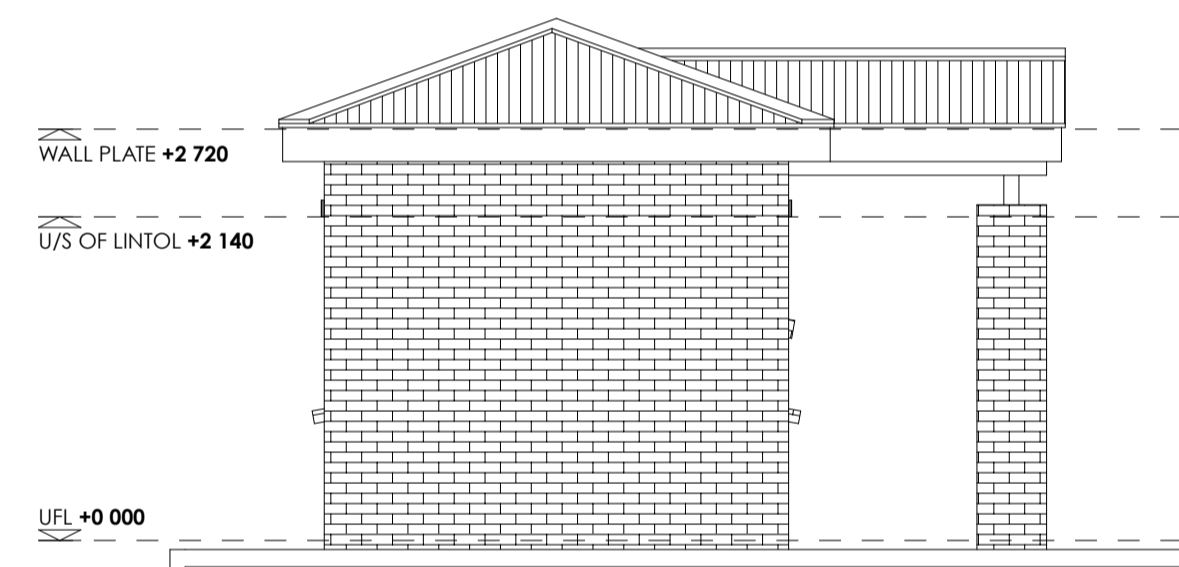
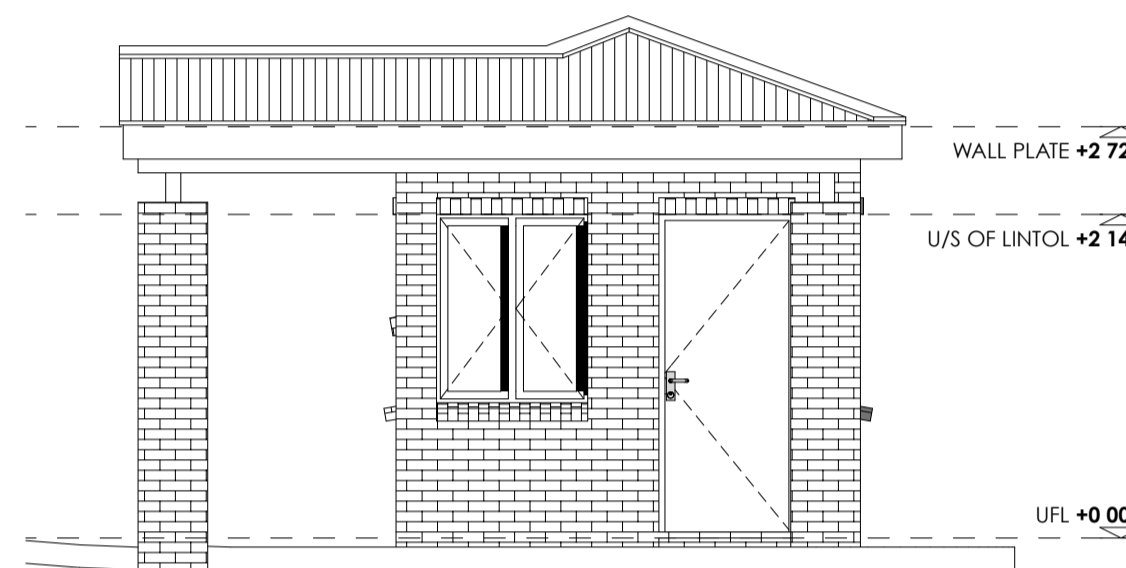
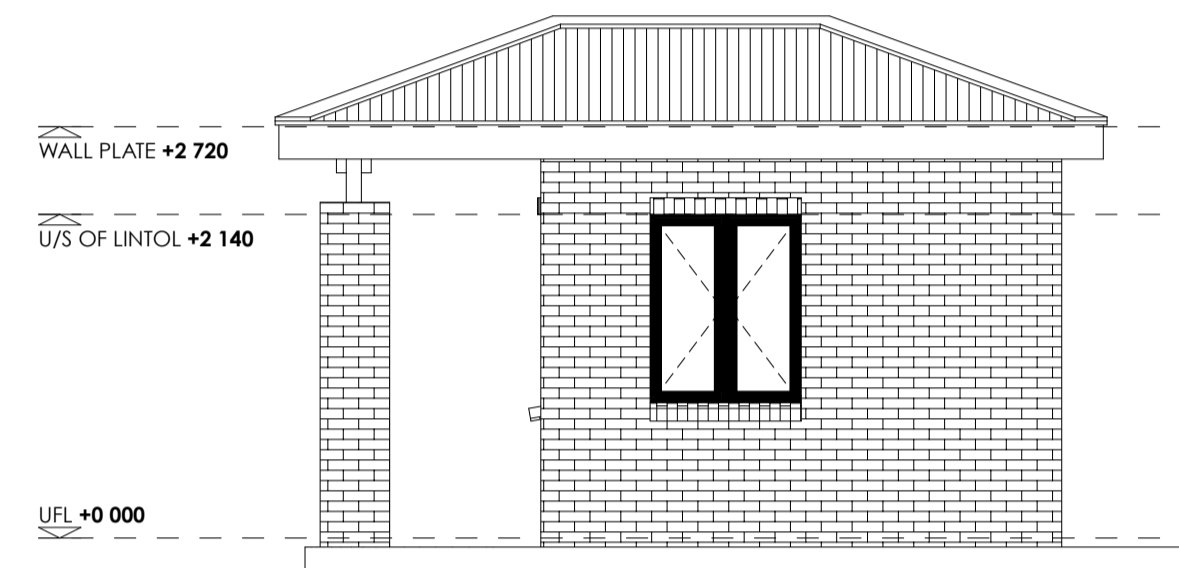
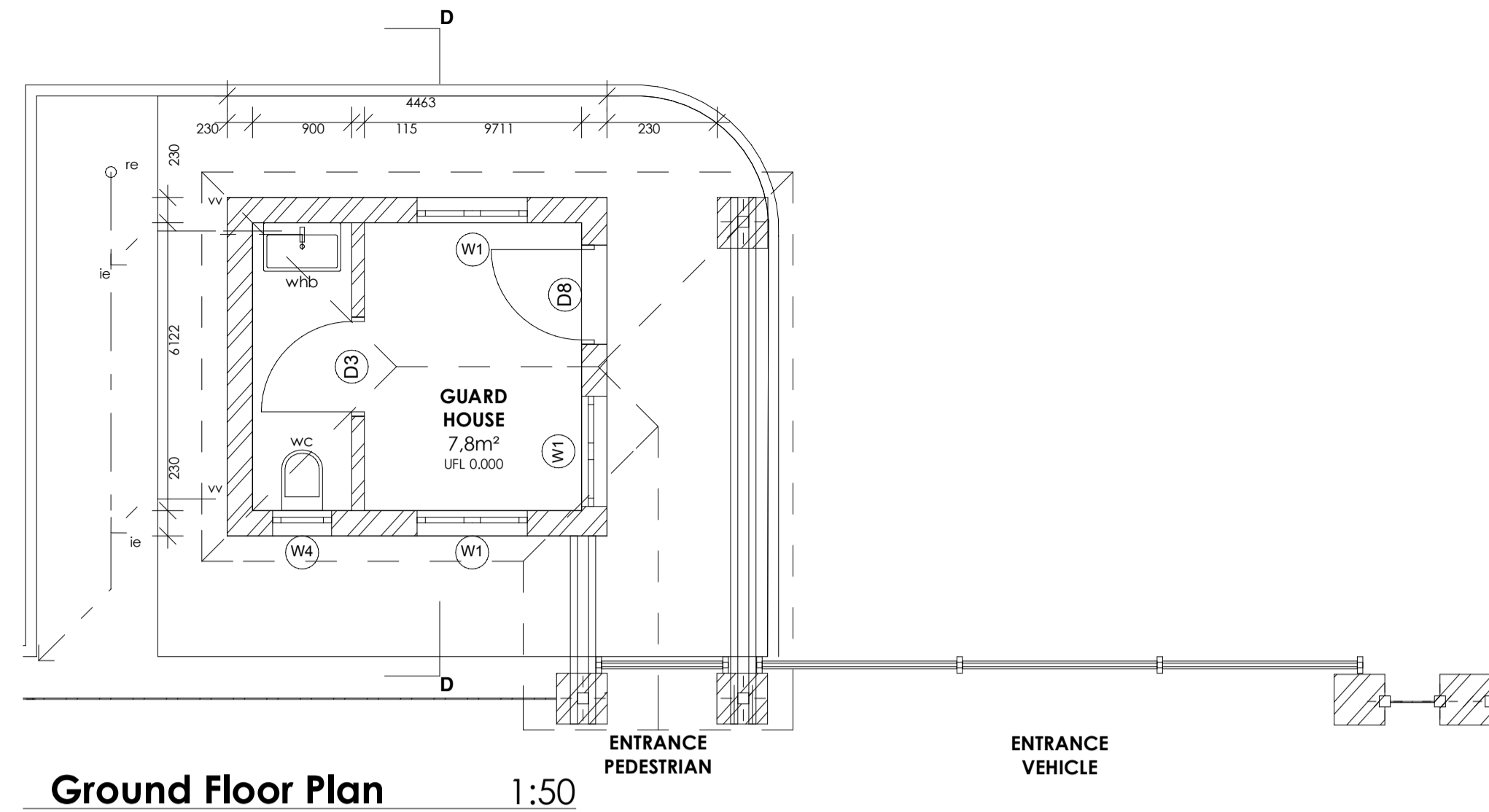
**PROJECT TITLE**  
 MASIA: TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS

**DRAWING TITLE**  
 OFFICE: SECTIONS

SCALE	1:100	DRAWN	T.CELE
DATE	14_08_2018	CHECKED	T.CELE

SIZE	PROJECT NO.	STAGE	DRAWING NO.	REV.
A1	TO_19000	C	TO_19000_102	0

**FOR CONSTRUCTION**



0,6mm Thick galv. concealed fixing sheeting @ 15 degrees on 75x30mm purlins with matching ridge sheet and edge copping.

4mm Thick fibre cement ceiling boards on 38x38mm SA Pine battens at 400mm centres

Brickwork in 1:5 cement mortar with joints raked out to receive plaster. Brickforce every 5th course and every 3rd course above lintol height.

**External finish:** Facebrick.

**Internal finish:** 1:5 cement plaster with steel towel finish and acrylic PVA paint.

concrete slab on 250 micron water proofing membrane compacted fill to engineers details

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REV NO.	DATE	REVISION
<b>DEPARTMENT</b>		
 DEPARTMENT OF <b>PUBLIC WORKS, ROADS &amp; INFRASTRUCTURE</b> Limpopo Department of Public Works, Roads and Infrastructure's Strategic Planning and Design Hub. 43 Church Street, Polokwane, 0700 (015) 284 7000/1		
<b>PROJECT TITLE</b>		
MASIA: TRIBAL OFFICE FOR THE DEPARTMENT OF TRADITIONAL AFFAIRS		
<b>DRAWING TITLE</b>		
GUARD HOUSE		
<b>SCALE</b>	1:100	<b>DRAWN</b> T.CELE
<b>DATE</b>	14_08_2018	<b>CHECKED</b> T.CELE
<b>SIZE</b>	<b>PROJECT NO.</b>	<b>STAGE</b>
A1	TO_19000	C
<b>DRAWING NO.</b>	<b>REV.</b>	
TO_19000_104	0	

**FOR CONSTRUCTION**

